



Staff Report

To: BOZAR
From: Jessie Earley, Senior Planner
Meeting Date: BOZAR, February 24, 2026
RE: Work Session: Mock Review Gunnison County Model Plans

PROJECT TITLE: Work Session: Mock Review Gunnison County Model Plans

SUMMARY: Work Session: Mock Review Gunnison County Model Plans

LEGAL DESCRIPTION: NA

ADDRESS: NA

ZONE DISTRICT: Residential

OWNER: NA

APPLICANT: NA

DRC MEMBERS: NA

STAFF MEMBERS: Jessie Earley, Senior Planner

ATTACHMENTS:

1. Plans

These packet materials are available at this [link](#). Staff can provide paper copies of the packet upon request.

PROJECT DESCRIPTION

1. Construct a new single-family residence.
2. Construct a new accessory dwelling.

PUBLIC NOTICE

This item was properly noticed per Section 16-22-110 (c). The affidavit of posting is on file in the Preservation Department.

I. Background/Overview: Staff are exploring options after the zoning code and Design Standards updates adoption in late 2026. The idea of model home plans have been mentioned. Gunnison County approved these plans for use as model plans in 2025 and it was thought that this could be a beneficial exercise prior to us going down the path of developing our own model plans.

II. Context: Refer to guidelines 4.25-4.26.

These two buildings would be for residential uses within residential neighborhoods. The Board will want to discuss how the buildings might relate to a new zone versus infill within a historic core zone.



The Board should comment on whether the diversity in forms is achieved in relation to the neighborhood in a manner that will not appear excessively similar or dissimilar.

GL	Staff Analysis
4.25	The forms differentiate from newer residences located within town per context GL 4.25.
4.26	<p>Discussion is encouraged to determine if what is proposed is a contemporary interpretation and variety or if the proposal is excessively dissimilar.</p> <p>The flat module on the front module does not relate to a room, as asked for in the GL.</p> <p>The front facing deck doesn't comply with the GL as written.</p> <p>The decks propose a pony wall as opposed to railings, which appears dissimilar.</p> <p>There is a lack of eaves, as proposed.</p>

III. Land Use Code Review:

Dimensional Limitations	Required by Chapter 16	Proposed	Compliant
Max FAR - Primary:	Varies per zone	3127.6 sf	Most zone districts allow for 0.5 for a duplex, which is 3125 sf for a 6250 lot. So, yes.
Max FAR – All Buildings:	Varies per zone	5169.4 sf (3127.6 sf (primary) + 2041.81 (ADU))	No, ADU is limited in town to 1000 sf. Total site is limited to 3125 sf.
Height:	30' /20'/ 24'(new zones) 28'/20/24' (historic zones)	28'4" (principal) 19'5" (ADU)	Principal – Yes Accessory – Yes
Roof Pitch	Minimum 4:12	10:12 (principal, primary roofs) 3:12 (connector portion, primary)	Yes No



		flat (principal, porch roofs)	No
		8:12 (accessory, primary roof) Flat (accessory, porch roofs)	Yes No
Width	Varies per zone In general 35'	40'	Varies per zone

IV. Design GL Analysis

a. **Mass, scale and form:** Refer to GL 4.32-4.34

The proposed duplex are two simple gable modules (front/back) with an intersecting gable to connect the two modules. The two front/back gables are 28'4" in height. This steps down 3'4" to the connecting module.

GL	Staff Analysis
4.33-4.34	<p>Consideration of whether the forms achieve relationships with historic buildings are in GL 4.33 and 4.34. 3D rendering is helpful to assess this.</p> <p>The flat module on the front elevation would likely be seen as excessively dissimilar.</p>
4.34 Discernable primary module	The front module, encouraged to be the discernable primary module is evident per GL 4.34 b.



By using the following conditions:
 1. These plans shall be approved by the Gunnison County Planning Commission or its designee.
 2. The recipient shall be responsible for obtaining all necessary permits from the Gunnison County Planning Commission or its designee.
 3. The recipient shall be responsible for obtaining all necessary permits from the Gunnison County Planning Commission or its designee.
 4. If the recipient is not a resident of Gunnison County, Colorado, the recipient shall be responsible for obtaining all necessary permits from the Gunnison County Planning Commission or its designee.

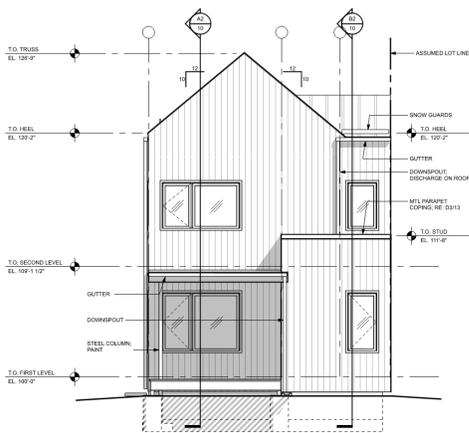
Sample Rendering
 This rendering shows an example of how a modern home may be achieved with this document. Exterior materials shown here are vertical ship-lap MFC siding, horizontal corrugated metal panel, and standing seam metal roof.

b. Design and Style: Refer to GL 4.35-4.40

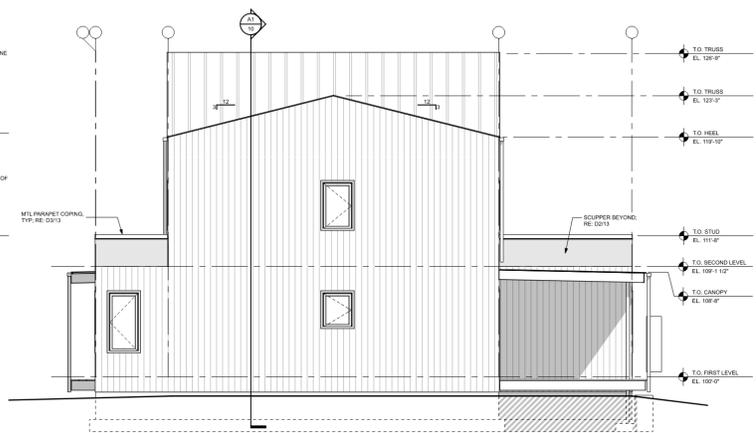
GL	Staff Analysis
4.35	Discussion of whether overall building forms appear as a product of their own time while relating with historic forms seen in town is encouraged. Staff finds compliance.
4.36-4.37	This is not an exact replication of a historic building. Support Discussion is encouraged as to whether the design of the home relates with the overall styles within the neighborhood or appears incongruent or can be seen as a contemporary interpretation.
4.38 mix of styles	This does not propose a mix of styles.



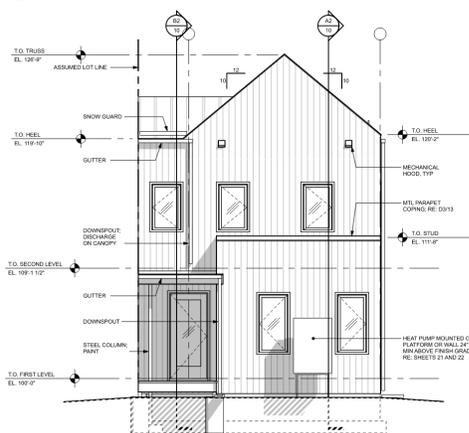
4.39 Additons	NA
4.40 Duplex	The design is consistent with the GL, which asks for it to be seen as a single family home. However, the building would need to be varied for the second entry to prevent what the GL describes as a mirror image.



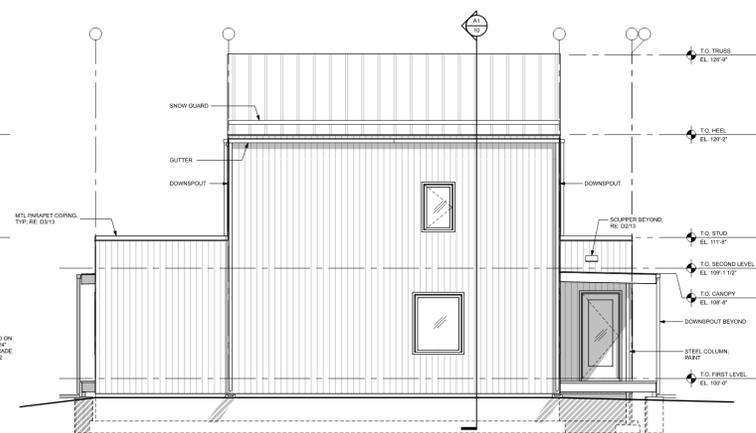
B1 FRONT ELEVATION
SCALE 1/4" = 1'-0"



B2 RIGHT END ELEVATION
SCALE 1/4" = 1'-0"



A1 BACK ELEVATION



A2 LEFT END ELEVATION

c. Roof forms: Refer to guidelines *4.41-4.45.

GL	Staff Analysis
4.41	The gabled primary roof forms (10:12) are symmetrical and appear consistent



	with the intents of 4.41. The secondary connector is consistent as a gable.
4.42 Shed roofs 4.43 Mixing roof styles	The use of the flat roofs for porches is not consistent with the GL.
4.44 Ridge lines	The 27'4" ridge (including overhangs)) meets the intent of GL 4.44 a.
4.45 Roof pitches	Roof forms of the primary module employs a 10:12 pitch, as encouraged in 4.45 The flat roofs on porches and 3:12 pitch on the connector do not meet the intents of this GL.

d. **Porches/Balconies:** Refer to guidelines *4.49-4.52

GL	Staff Analysis
4.49 Covered porches	The entry porch on the front is a flat roof entry, which is prohibited by GL 4.49a.
4.50 Mix of porch styles	The entry porch measures 10'10" x 8'1" at its shallowest depth, which complies with the intents of GL 4.50 b encouraging a depth of at least four feet.
4.51 Rear porches	The rear porch is simple 6'2"x12'1". Again, the flat roof is discouraged.
4.52 Second and third story decks	The second story elevated deck is located on the rear side of the property and meets the intent of GL 4.52. There is a second, second story deck facing the street which would not meet the intents of GL 4.52. Both decks propose a pony wall as opposed to a railing feature, which appears dissimilar.

e. **Windows:** Refer to Guidelines 4.53-4.63.

GL	Staff Analysis
4.53 Window to wall ratio	Window to wall ratios along the front elevation proposes 72.56 sf of glazing/ 478.45 sf wall space, which is 15% window to wall. This is in line with the 10-20% that is generally seen. Additionally, this is a new zone. The first floor presents one two pack and a single window (40.8 sf), there is one single window and a two pack on the second floor (32.76 sf). Support



	<p>The right end elevation proposes two single windows on the first floor and one single window on the second floor.</p> <p>The rear elevation proposes two single windows and a full light door on the first floor and three single windows on the second floor.</p> <p>The left end elevation proposes a single window and full light door on the first floor and a single window and a full light door on the second floor. The second floor door is obscured by the wall of the building.</p>
4.54 Vertical emphasis	Windows are proposed as full light casement windows which is supported by GL 4.54 a. Window operations have been noted on the plans.
4.56 Window material	Window material is not called out, but would be supported as fiberglass, wood or aluminum clad
4.57 Fenestration pattern	There appears to be 12" to exterior corners, as required by the GL.
4.58 Groupings of 2 or more windows	<p>There aren't more than two windows grouped together. For new zones, this would be supported.</p> <p>For core zones, these windows would be required to be separated by 3.5" of trim and could not be mulled.</p>
4.58 c. Window sizes	<p>There are not more than four window sizes on the front.</p> <p>There are not more than six window sizes for other elevations.</p>
4.59 Window and door trim	There is a 2" trim noted for windows/doors. Support.
4.60 Divided lights	The windows are proposed as full light windows, which is not currently supported by the GL.
4.61 Transom windows	NA
4.63 Window Wells	NA



f. **Doors:** Refer to GL 4.64-4.69.

GL	Staff Analysis
4.64 Primary door	The primary door does not face the street. The entry is to the side. Discussion is encouraged.
4.65 Primary door	The primary door is proposed as full light door. The material is not called out. This would be encouraged to be wood or fiberglass with wood grain. The door is allowed to be full light if there are true divided lights. Right now, this is not proposed.
4.66 Secondary doors	There are three other full light secondary doors, which meet the intents of the GL. Materials would need to be called out.

g. **Lighting:** Refer to GL 2.37-2.40.

GL	Staff Analysis
2.37 /4.74 Exterior lighting	Lighting has not been identified on elevations of the primary building and must be to ensure it is in compliance with the night sky ordinance.

h. **Materials:** Refer to GL 4.75-4.83.



EXTERIOR MATERIAL SCHEDULE

OWNER: IN EACH MATERIAL SECTION BELOW, PLEASE CHECK THE ORANGE BOX TO INDICATE THE SELECTED MATERIAL. IN THE CASE OF "OTHER," PLEASE ADDITIONALLY WRITE THE SELECTED MATERIAL ON THE LINE PROVIDED.

ROOFING		ASSEMBLY
<input type="checkbox"/>	ASPHALT SHINGLES OVER 2 LAYERS OF UNDERLAYMENT/ICE AND WATER SHIELD • ASPHALT SHINGLES SHALL COMPLY WITH ASTM D3462 ⁴	APPLIED OVER ROOF SHEATHING AND FRAMING PER SHEET 18
<input type="checkbox"/>	STANDING SEAM METAL ROOFING OVER UNDERLAYMENT/ ICE AND WATER SHIELD PER MANUFACTURER'S REQUIREMENTS	APPLIED OVER ROOF SHEATHING AND FRAMING PER SHEET 18
<input type="checkbox"/>	<u>MEMBRANE ROOFING</u>	FLAT ROOFS: ADHERED TO 1/2" GYPSUM COVER BOARD ON RIGID INSULATION SLOPED TO DRAIN ON ROOF SHEATHING AND FRAMING PER SHEET 18 CANOPIES: ADHERED TO ROOF SHEATHING ON FRAMING PER SHEET 18
<input type="checkbox"/>	PDM	
<input type="checkbox"/>	TPO	
<input type="checkbox"/>	PVC	
<input type="checkbox"/>	<u>OTHER:</u> ALL ROOF COVERINGS SHALL BE CLASS A MIN ²	
SIDING		
<input type="checkbox"/>	MINERAL FIBER CEMENT BOARD: BOARD & BATTEN	APPLIED DIRECTLY OVER RAINSCREEN DRAINAGE MESH; RE: ASSEMBLY LEGEND.
<input type="checkbox"/>	MINERAL FIBER CEMENT BOARD: LAPPED SIDING	APPLIED DIRECTLY OVER RAINSCREEN DRAINAGE MESH; RE: ASSEMBLY LEGEND.
<input type="checkbox"/>	METAL PANEL: CORRUGATED INSTALLED HORIZONTALLY OR VERTICALLY	APPLIED DIRECTLY OVER RAINSCREEN DRAINAGE MESH; RE: ASSEMBLY LEGEND.
<input type="checkbox"/>	<u>OTHER:</u> EXTERIOR WALL MATERIALS SHALL BE ONE OF THE FOLLOWING: ³ • NON-COMBUSTIBLE, OR • APPROVED FOR NOT LESS THAN 1-HR FIRE RESISTANCE RATED CONSTRUCTION ON THE EXTERIOR SIDE, OR • HEAVY TIMBER, OR • LOG CONSTRUCTION, OR • FIRE-RETARDANT-TREATED WOOD ON THE EXTERIOR SIDE, OR • IGNITION-RESISTANT MATERIALS ON THE EXTERIOR SIDE.	
SOFFITS		
<input type="checkbox"/>	<u>SOFFIT BOARD (NON-PERFORATED)</u> • MINIMUM SOFFIT MATERIAL THICKNESS: 3/4" ⁵	
<input type="checkbox"/>	<u>OTHER:</u> • COMBUSTIBLE EAVES, FASCIAS, AND SOFFITS SHALL BE ENCLOSED WITH SOLID MATERIALS ⁵ • MINIMUM MATERIAL THICKNESS: 3/4" ⁵ • EXPOSED RAFTER TAILS ARE NOT PERMITTED UNLESS CONSTRUCTED OF HEAVY TIMBER MATERIALS. ⁵	
<u>FOOTNOTES</u> 1: PER IRC (2021) TABLE R905.1.1(2). 2: PER IWUIC (2021) 505.2. 3: PER IWUIC (2021) 505.5. 4: PER IRC (2021) R905.2.4. 5: PER IWUIC (2021) 505.3.		

ASSEMBLY LEGEND



Asphalt shingles are noted for some portions of the roof. Membrane roof is noted for flat roofed portions. Standing seam metal is called out for primary portions of the roof.

The siding is noted as a fiber cement material in a mix of board and batten and horizontal lapped. There is also metal material noted for the front flat roof module.

A 2” trim is noted for windows and doors. Fascia is not included.

Snow stops are include above the decks.

There are posts for front and rear covered porches.

GL	Staff Analysis
4.71 Chimney	NA
4.72 Eaves and overhangs	There are no eaves proposed. This is not consistent with the GL as written and does create challenges for the building, as it relates to snow shed.
4.75 Exterior materials	Siding material is proposed as fiber cement, which is supported in new zones east of Sixth Street currently. In core zones, this material would not be supported. Metal siding is not currently supported. The lack of fascia is not consistent with the GL.
4.75 e /4.80 a foundation treatment	NA
4.75 e Metal materials	Metal siding is proposed on the front module, which is not supported.
4.82 Roofing	The standing seam roof is supported. Asphalt shingles are not currently supported.
4.83 Porch railing	There are no porch rails proposed, which is noted in the discussion above. Discussion is encouraged regarding how this relates.

Accessory building mass/scale/form and placement: Refer to GL 4.84-4.88;
The proposed accessory dwelling is a 26’4”x 52’4” gable module with an 8:12 pitch. There are inset porches on the front and rear, which propose flat roofs.



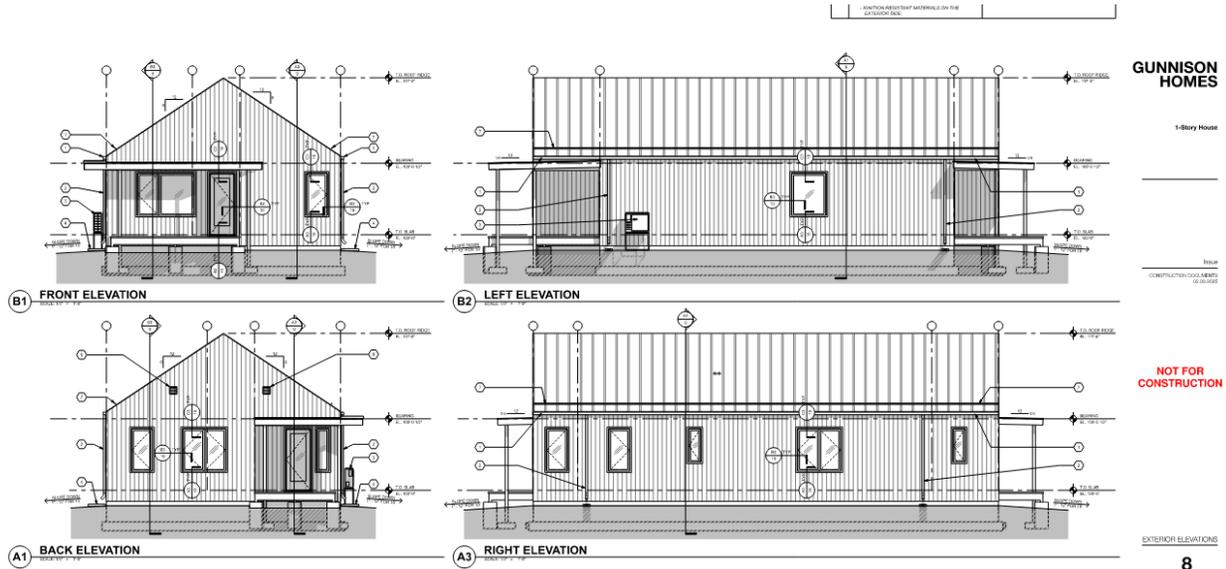
By using these construction documents, the recipient acknowledges, accepts and voluntarily affirms the following conditions:

1. These plans have been prepared for Gunnison County to offer to property owners and residents of Gunnison County. The recipient of these plans has the responsibility to verify any and all information relevant to the recipient's work and responsibility in the use of these plans for construction. Gunnison County or its consultants shall not be responsible for translation errors. A Gunnison County building permit shall be obtained prior to starting construction.
2. The recipient acknowledges that they will be responsible to provide foundation details based on site specific characteristics that are approved by a Professional Engineer or Architect, licensed in that State of Colorado.
3. The recipient recognizes and acknowledges that the use of this information will be at their sole risk and without any liability or legal exposure to Gunnison County or its consultants. No warranties of any nature, whether express or implied, shall attach to these documents and the information contained therein. Any use, reuse, or alteration of these documents by the recipient or by others will be at the recipient's risk and full legal responsibility. The recipient will, to the fullest extent permitted by law, defend, indemnify and hold Gunnison County and its consultants harmless from any and all claims, suits, liability, demands, judgments, or costs arising out of or resulting there from any use of these construction documents for or on account of any injury, death, damage or loss to persons or property, direct or consequential damages in any amount.
4. If the recipient does not agree with the above conditions, do not proceed with use of these plans.



Sample Rendering
 This rendering shows an example of what may be achieved with the documents. Exterior materials shown here are virtual wrap-up MPC siding with a standing seam metal roof.

GL	Staff Analysis
4.84 Smaller in size	The proposed building is smaller in scale than the primary building, as requested by the GL. However, the sf would need to be reduced to comply with our zoning requirements. This could likely be done through a roof pitch change and reduction in porch sizes.
4.85 Rear of the site	NA
4.86 Vary appearance	This is a simple structure, which is supported by the GL and is varied to other ADU's as seen in town.
4.89 d. porches	There are covered porches on the front and rear. The flat roofs are not supported, as proposed.



a. **Accessory building windows:** Refer to GL4.53-4.63, 4.88;

GL	Staff Analysis
4.53; 4.88 fenestration	<p>There is a two pack, single window and door glazing on the front elevation. This glazing is all located on the first floor. There is 60.17 sf of glazing/391.94 sf of wall space, which is 15.4%.</p> <p>There is a single window on the left elevation</p> <p>There is a two pack and four single windows on the right elevation.</p> <p>The rear elevation proposes two single windows a two pack and door glazing.</p> <p>Windows would not be supported, as proposed as full light and would need to incorporate divided lights.</p> <p>The window on the rear adjacent to the door appears to be a side light, which are not allowed by the GL</p>



4.54 Vertical emphasis	Windows are proposed as casement windows, which are supported.
4.56 Window material	Window material is not called out, but would be supported as fiberglass, wood or aluminum clad.
4.59 Trim	Trim is shown as 2” for windows and doors.

b. Accessory building doors: Refer to GL –4.64-4.66, 4.68-4.69 4.90;

GL	Staff Analysis
4.66 Secondary Doors	There are two full light doors on the building, which is supported by the GL.
4.69, 4.90 Garage doors	NA

c. Accessory building materials: Refer to GL 4.75, 4.82, 4.88

EXTERIOR ELEVATION KEYNOTES

- 1 METAL GUTTER, MUST BE NON-COMBUSTIBLE PER IWUC (2021) 505.4.
- 2 METAL DOWNSPOUT, MUST BE NON-COMBUSTIBLE PER IWUC (2021) 505.4.
- 3 HEAT PUMP MOUNTED ON A PLATFORM OR WALL MOUNTED AT LEAST 24" ABOVE FINISHED GRADE. SEE MECHANICAL DRAWINGS.
- 4 SPLASH BLOCK, SLOPE DISCHARGE AWAY FROM BUILDING AT 1" : 12" MINIMUM.
- 5 ERV INTAKE, SEE A104.
- 6 ERV EXHAUST, SEE A104.
- 7 SNOW FENCE

EXTERIOR MATERIALS

OWNER: IN EACH MATERIAL SECTION BELOW, PLEASE CHECK THE ORANGE BOX TO INDICATE THE SELECTED MATERIAL. IN THE CASE OF "OTHER," PLEASE ADDITIONALLY WRITE THE SELECTED MATERIAL ON THE LINE PROVIDED.											
SOFFITS <input type="checkbox"/> FIBER CEMENT SOFFIT BOARD (NON-PERFORATED) • MINIMUM SOFFIT MATERIAL THICKNESS: 3/4" <input type="checkbox"/> OTHER: • COMBUSTIBLE EAVES, FASCIAS, AND SOFFITS SHALL BE ENCLOSED WITH SOLID MATERIALS ¹ • MINIMUM MATERIAL THICKNESS: 3/4" • EXPOSED RAFTER TAILS ARE NOT PERMITTED UNLESS CONSTRUCTED OF HEAVY TIMBER MATERIALS. ²	<table border="1"> <thead> <tr> <th>ROOFING</th> <th>ASSEMBLY</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> ASPHALT SHINGLES • THE ASPHALT SHINGLES SHALL COMPLY WITH ASTM D3962³ • THE ASPHALT SHINGLES SHALL BE CLASS A MIN.⁴</td> <td>ASPHALT SHINGLES OVER 2 LAYERS OF UNDERLAYMENT OR ICE AND WATER SHIELD, OVER ROOF SHEATHING. SEE THE ASSEMBLY LEGEND.</td> </tr> <tr> <td><input type="checkbox"/> STANDING SEAM METAL ROOFING</td> <td>UNDERLAYMENT OR ICE AND WATER SHIELD IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, OVER ROOF SHEATHING. SEE THE ASSEMBLY LEGEND.</td> </tr> <tr> <td><input type="checkbox"/> OTHER: • THE ROOF COVERING SHALL BE CLASS A MIN.⁵</td> <td></td> </tr> </tbody> </table>	ROOFING	ASSEMBLY	<input type="checkbox"/> ASPHALT SHINGLES • THE ASPHALT SHINGLES SHALL COMPLY WITH ASTM D3962 ³ • THE ASPHALT SHINGLES SHALL BE CLASS A MIN. ⁴	ASPHALT SHINGLES OVER 2 LAYERS OF UNDERLAYMENT OR ICE AND WATER SHIELD, OVER ROOF SHEATHING. SEE THE ASSEMBLY LEGEND.	<input type="checkbox"/> STANDING SEAM METAL ROOFING	UNDERLAYMENT OR ICE AND WATER SHIELD IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, OVER ROOF SHEATHING. SEE THE ASSEMBLY LEGEND.	<input type="checkbox"/> OTHER: • THE ROOF COVERING SHALL BE CLASS A MIN. ⁵			
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Asphalt shingles are noted, but it is not clear where this is proposed. Standing seam metal roofing is also called out.

Siding is noted as fiber cement in board and batten.

Trim is shown as 2”. There isn’t fascia or corner boards, as drawn.

There are posts at entries.

GL	Staff Analysis
4.82 Roofing	Standing seam is supported for the roofing.



	Asphalt shingles are not a supported material.
4.89 c Simple design and details	The lack of eaves and fascia appears to be inconsistent with the GL as written.
4.75 Siding	Fiber cement is a supported material in new zones east of Sixth Street. In core zones, an alternative material would need to be explored.
4.75 e /4.80 a foundation treatment	NA
4.90 Garage door	NA

V. BOZAR Review:

- **Review the proposed primary duplex and ADU and provide feedback relating to:**
 - **Mass/scale/form**
 - **Architectural appropriateness**
 - **Materials**
- **These buildings were reviewed as they relate to the current GL. The board is tasked with thinking about the plans and how they might be supported or not supported by the update to the Design Standards.**