



Staff Report

To: BOZAR
From: Jessie Earley, Town Planner III
Meeting Date: BOZAR, May 27, 2025
RE: 75 Pyramid Way, Final Review

PROJECT TITLE: Guidone (75 Pyramid Avenue)

SUMMARY: Consideration of the application of **Franklin D. Guidone and Elizabeth A. Guidone** to site a single-family residence and two accessory buildings (one cold and one heated) to be located at 75 Pyramid Avenue, Lot T3, Slate River Subdivision in the R1F zone.

- **Architectural approval is required.**

- **A conditional use permit for a heated building in the R1F zone.**

LEGAL DESCRIPTION: Lot T3, Slate River Subdivision

ADDRESS: 75 Pyramid Avenue

ZONE DISTRICT: R1F

OWNER: Franklin D. Guidone and Elizabeth A. Guidone

APPLICANT: Andrew Hadley and Chris Penfield

DRC MEMBERS: Schmidt and Anderson (4/21/2025); Schmidt and Nauman (5/12/2025)

STAFF MEMBER: Jessie Earley, Planner III

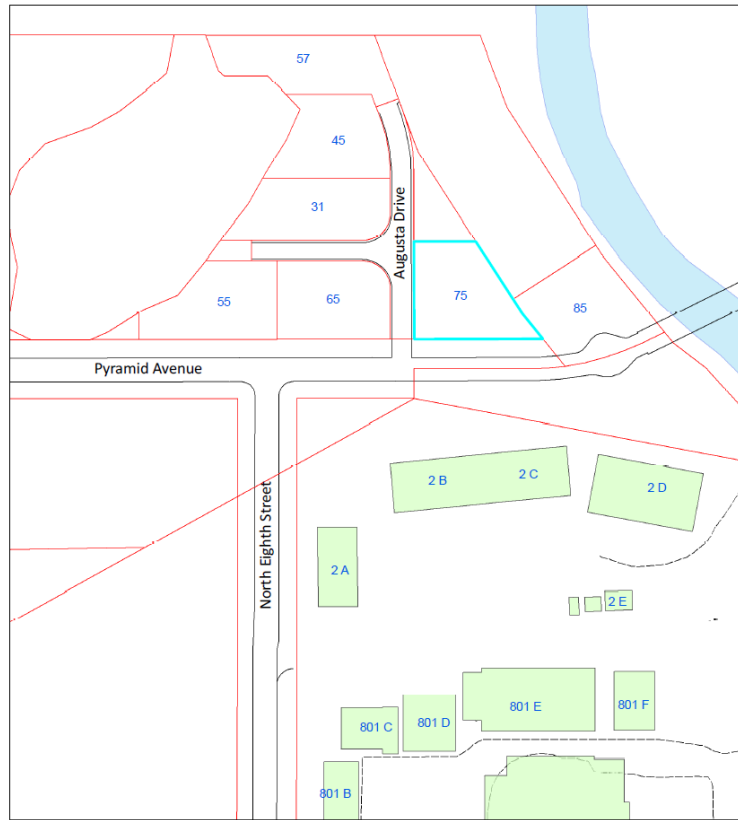
ATTACHMENTS:

1. Plans
2. GIS Map
3. Materials list(s)
4. Color rendering
5. DRC notes (4/21/2025 and 5/12/2025)

These packet materials are available at this [link](#). Staff can provide paper copies of the packet upon request.

PROJECT DESCRIPTION

1. Construct a new single-family residence.
2. Construct a heated accessory building (shed).
3. Construct a cold accessory building (garage).



PUBLIC NOTICE

This item was properly noticed per Section 16-22-110 (c). The affidavit of posting is on file in the Preservation Department.

- I. Background/Overview:** Andrew Hadley and Chris Penfield submitted an application on behalf of the Guidone's for plans to construct a new single-family residence and two cold accessory buildings located at 75 Pyramid Avenue.
- II. Status:** The Applicants met with the DRC at the 4/21 meeting. Notes from the meeting are attached for more detailed information.

The following revisions were made to the plans:

- The fireplace and chimney have been reduced to minimum allowable dimensions for a Rumford 1500 unit.
- The southern window well has moved to the East side of the primary. This window well move allowed the primary residence to move 2' South on the site.
- The steel beams have been changed to wood beams.
- The horizontal siding has been removed at the gable ends sided with Board & Batten.
- 2" trim added under transom windows.



- 9'-0" wide door at east side of Living.
- Parking and paths on site reduced.

The applicants met with the DRC at the 5/12 meeting. Notes from the meeting are attached for more detailed information.

The following revisions have been made to the plans since this meeting include:

- Updated site surfaces to more closely represent the SCJ landscaping plan: New wood deck and reduced pervious paver area

III. Subdivision: (Slate River Subdivision) Developed in 2020, the Slate River

Subdivision/Annexation was developed for a mix of zone districts and uses, including:

TP1: Public Zone

TP2: Public Zone

TP3: R4 Zone (Mineral Point development)

TP4: Public/Open Space Zone (snow storage)

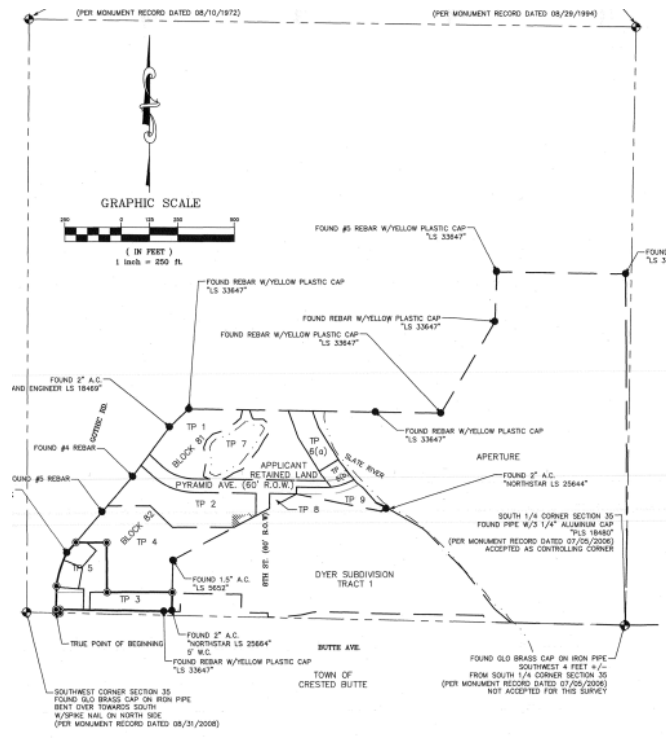
TP5: R4 Zone (partial Mineral Point development and future housing development site)

TP6: Public/Open Space Zone (boat put in)

TP7: Public/Open Space Zone (wetland/trail)

Augusta Park: R1F Zone (applicant of the original subdivision retained lots (6), which are now being sold)

Although Mineral Point construction is well underway and the boat put in is complete, this area is largely undeveloped at this time.



This is a detailed plat map of a portion of the City of St. Louis, Missouri. The map shows several lots, including LOT 12 (8,388 SQ. FT.), LOT 13 (8,388 SQ. FT.), LOT 14 (8,388 SQ. FT.), LOT 15 (8,388 SQ. FT.), LOT 16 (8,388 SQ. FT.), LOT 18 (8,388 SQ. FT.), and LOT 19 (8,388 SQ. FT.). The map includes various street names, such as PHARAM AVENUE (60' R.O.W.), EDGE OF WATER, and the MISSISSIPPI RIVER. It also shows utility easements, open space, and a red-outlined area labeled 'LOT 13 (8,388 SQ. FT.)'. The map is signed by a surveyor and dated 2010.

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This will be the first home within the Augusta Park neighborhood, which is zoned R1F. This zone district is much like the R1E and R1D zones, which are considered new zone districts. In that vein, the Board can look to these neighborhoods for context, if needed.

The Board should comment on whether the diversity in forms is achieved in relation to the neighborhood in a manner that will not appear excessively similar or dissimilar.

GL	Staff Analysis	DRC Recommendation
4.25	The forms differentiate from newer residences located in the 800-900 blocks within town per context GL 4.25.	Support
4.26	<p>Discussion is encouraged to determine if what is proposed is a contemporary interpretation and variety or if the proposal is excessively dissimilar.</p> <p>Setbacks and heights have been revised to meet requirements.</p> <p>The rear shed entry roof appears atypical, as it relates to the GL for secondary entries (4.51).</p> <p>Transom windows have been revised to incorporate 2" mullion between the transom and the window/door below. Discussion is encouraged to ensure that the metal trim is supported, as opposed to wood. Transom windows also should be discussed as they relate to the overall window to wall ratio on the north and east.</p> <p>The front window well was moved to the east to better conform with GL with GL 4.63.</p> <p>Metal beam materials have been revised to wood as they relate to GL 4.75.</p>	<p>4/21 DRC: Support</p> <p>Support</p> <p>Members asked for the trim to be added. The applicant has provided this. 5/12 DRC: Support</p> <p>Members found that the front window well did not meet requirements. This has been revised.</p> <p>Members found that the metal beam did not meet the intents of the GL. This has been revised</p>

**V. Land Use Code Review:
Residential Zone District (R1F) (Sec. 16-4-1000-16-4-1060)**

Dimensional Limitations	Required by Chapter 16	Proposed	Compliant
Minimum Frontage	50'	129'3"	Yes
Maximum Lot Area:	11,400 sf	9380 sf	Yes



Minimum Lot Area:	5000 sf	9380 sf	Yes
# Dwellings:		1	Yes
Minimum Setbacks:			
Principal: Front:	Public Street, 20' Private access road, 10'	20' (principal, Pyramid Avenue) 22'4" (accessory south, Pyramid Avenue)	Yes
Principal: Side Yard (East):	7'6"-11'6"	8'10" (1 story elements) 12'7" (2 story elements)	Yes
Principal: Side Yard (West):	7'6"-11'6"	37'9"	Yes
Principal: Rear:	10' (Principal) 5' (Accessory) 7'6" (Wetland)	10'	Yes
Accessory Building (north – garage): Side Yard (East)	7'6"-11'6"	12'1"	Yes
Accessory Building (north – garage): Side Yard (West)	7'6"-11'6"	10'1"	Yes
Accessory Building (north-garage): Rear Yard (North)	10' (Principal) 5' (Accessory) 7'6" (Wetland)	5'	Yes
Accessory Building (south – shed): Side Yard (East)	7'6"-11'6"	7'6"	Yes
Accessory Building (south – shed): Side Yard (West)	7'6"-11'6"	13'9"	Yes
Accessory Building (south-shed): Rear Yard (North)	10' (Principal) 5' (Accessory) 7'6" (Wetland)	21'8"	Yes
Between buildings	10'	13'9" (east elevation of principal to west elevation of accessory/shed) 12'1" (west elevation of principal to east elevation of accessory/garage)	Yes
Max FAR - Primary:	2800 sf maximum	2474 sf	Yes
Max FAR – All Buildings:	3800 sf maximum	3353.5 sf	Yes
Height:	30' /20'/ 24'	28'8" (principal) 19'6" (accessory, garage) 11'8" (accessory, shed)	Yes
Roof Pitch	Minimum 4:12	10:12 (principal, primary roofs) 4:12 (secondary roofs) 10:12 (accessory, garage, primary roofs) 4:12 (secondary porch roofs) 4:12 (accessory, shed, primary roof)	Yes
Width	35'	35'	Yes
Snow Storage	>33%	64.2%	Yes
Open Space	50%	72%	Yes
Parking	3 spaces	3 spaces (2 interior, 1 exterior)	Yes

VI. Design GL Analysis



R-1F Zone: The purpose for which this District is created is to provide areas for low-density residential development along with customary accessory uses. The lots in this District provide a transition between the Town and the still larger residential lots outside of Town. Accessory uses naturally and normally incidental to and exclusively devoted to such primary residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

Design Goals: Accommodate the needs of our growing community, while at the same time maintaining the architectural integrity and traditional character of Town. New construction for this zone should appear compatible with the R1 zone massing, scale and styles related in the guidelines.

The Town's design goals for this district are:

- To encourage appropriate infill and changes to existing structures that complement the character of the historic residential core areas.
- To maintain the size and scale of the R1 neighborhoods so they complement, rather than overwhelm or detract from, historic structures.
- To maintain and encourage pedestrian size, scale, uses, and orientation.
To allow for greater flexibility in design compared with what is allowed in historic areas.

a. **Site planning:** Refer to GL: 2.16-2.40, 3.1-3.2, 5.108-5.112.

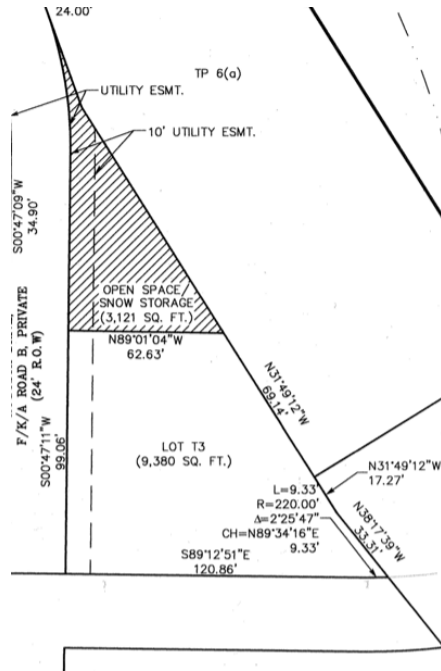
GL	Staff Analysis	DRC Recommendation
Topography	<p>On the southeast corner of the lot, the grade is 8867', which steps up to 8879' on the northeast corner. Then, this transitions back down to 8876' to the west and down to 8871' on the southwest corner.</p> <p>Over the course of the primary building footprint, the grade changes from 8872' to 8879'. The average grade for the site is noted as 8875'. Staff agrees with this assessment for the primary building for the purposes of measuring FAR.</p> <p>It is difficult to decipher from the site plan, but it looks like the majority of the grade for the north accessory building (garage) is 8880'. Confirmation is needed.</p> <p>For the southeast accessory (shed), the bulk of the grade for measuring FAR appears to be 8871'. Confirmation is needed, as it is not shown on the elevations or section.</p>	4/21 DRC: Members asked for information to be added to the plan. The applicant confirmed heights are met, but the information is still needed on the elevations/sections.
2.8 Drainage	<p>Drainage information has not been provided. Drainage arrows for the site must be shown.</p> <p>A drainage plan will be required. Confirmation of if a dewatering well will be required, is needed.</p> <p>During construction, stormwater</p>	Add information to plans



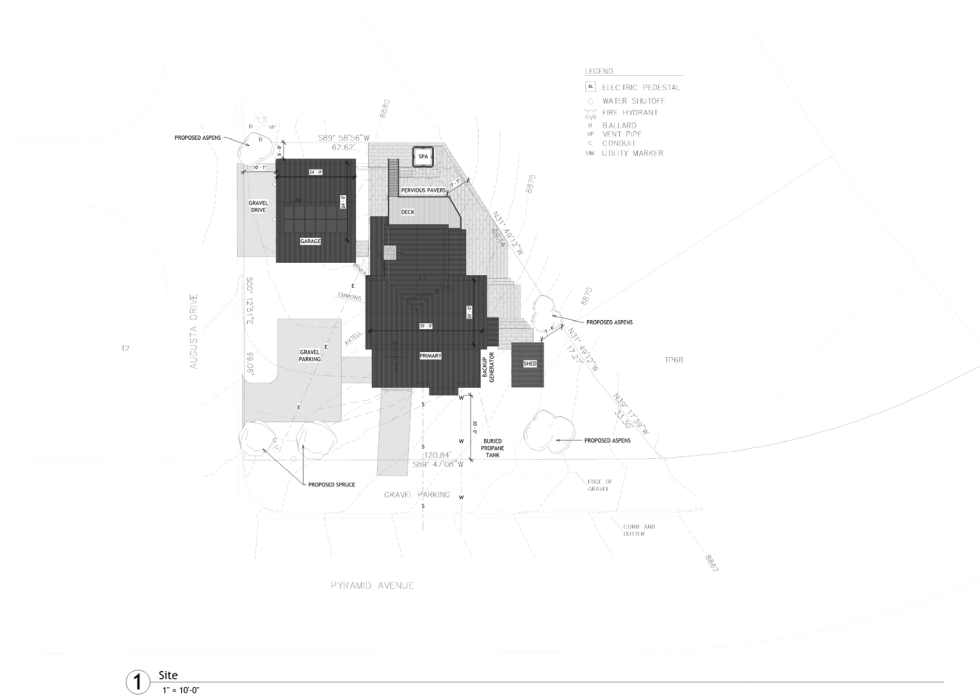
	management and erosion control will be required in an overall construction management plan.	
Easements	<p>There is a 10' utility easement for the west side of the lot. This must be included on the site plan. This line has been included on the landscape plan, which was provided.</p> <p>There is an irrigation line on the south side of the south property line within the ROW. The propane tank must be shown at least 5' away from this. This line is shown on the landscape plan.</p>	Add information to plans.
2.16 Substantial landscaping	<p>The plan is well developed. Provision of a final landscape plan will be required for review and approval if revisions are proposed after permitting prior to a CO.</p> <p>There is one spruce tree proposed for the southeast corner. There are seven aspen trees on the east/south/west. There one chokecherry on the west. There are berms noted on the south. There are perennial beds noted on the southeast and southwest and small patches on the east.</p> <p>A question arose in the DRC regarding if the owners of this lot could provide irrigation to the Town parcel due to the dead trees there by the boat put in/changing rooms. The Town is moving away from planting trees in areas without irrigation and rather planting native materials that can better sustain the climate. Although, Staff does appreciate the generous offer.</p> <p>A fence is noted on the west/south/east portions of the lot. On the east and north a seat wall is noted, details will be required on this wall.</p>	Add information to the plans. The applicant has provided a more detailed site plan.
2.19 New trees	<p>There are five aspen trees on the south side of the property and one spruce tree on the south side on the east. This appears to meet the intents of GL 2.19 as it requires two trees.</p> <p>There is an aspen tree on the west and east proposed and a chokecherry on the west. This appears to meet the intents of GL 2.19 and 4.28 are met.</p>	



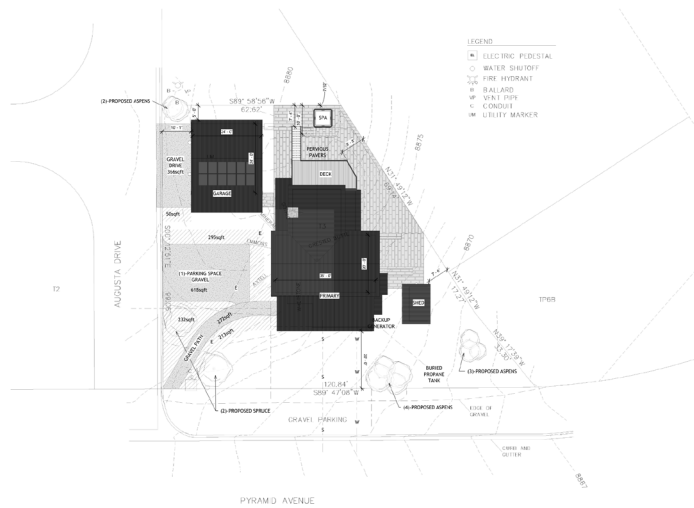
	The trees on the south property line must be shifted to be fully within private property. The trees proposed on the northwest corner must be removed from the utility easement.	
2.16 a./ 2.20 Native plantings	Ground cover is noted as native grass mix. Native materials are encouraged by the GL. Support.	
2.16 e Pervious materials 2.28 e & f Parking substrate	<p>Walkway (354 sf) is noted as flagstone. Parking and west/east patio area (822 sf) are noted as crushed stone. The area on the south was decreased to accommodate one car, as the code requires. There is an area of concrete for the garage drive/entry (253 sf).</p> <p>The patio on the north and west and walkway between buildings (944 sf) is noted as pervious pavers. Then there is an area of wood on the northeast corner of the lot for a deck/hot tub (242 sf). This area is a large amount of hardscape. Discussion is encouraged. It is appreciated that this material is pervious.</p>	<p>4/21 DRC: Members encouraged revisions to the walkway on the southwest corner to ensure that this is seen as the front.</p> <p>Members discussed the amount of hardscape and said that this will likely be discussed at the full Board meeting.</p> <p>5/12 DRC: Members appreciated the more detailed landscape plan. This will be discussed with the full Board.</p>
(2.37-2.40)/ 16-17-40 Exterior Lighting	Lighting has been identified appears in compliance with the night sky ordinance.	Support
Solar 2.10	Panels have been shown on the south elevation of the accessory building/garage. Support.	Support
Utilities	<p>Wet and dry utility lines have been noted. The wastewater line tap is actually located on the northwest corner. The water line tap is actually located on the southwest corner.</p> <p>There is a 10' utility easement for the west side of the lot. This must be included on the site plan.</p> <p>There is an irrigation line on the south side of the south property line within the ROW. The propane tank must be shown at least 5' away from this.</p>	Add information to the plans.
2.7 Snow Storage	Snow storage has been provided onsite and meets the 33% requirement of the areas to be plowed.	Support



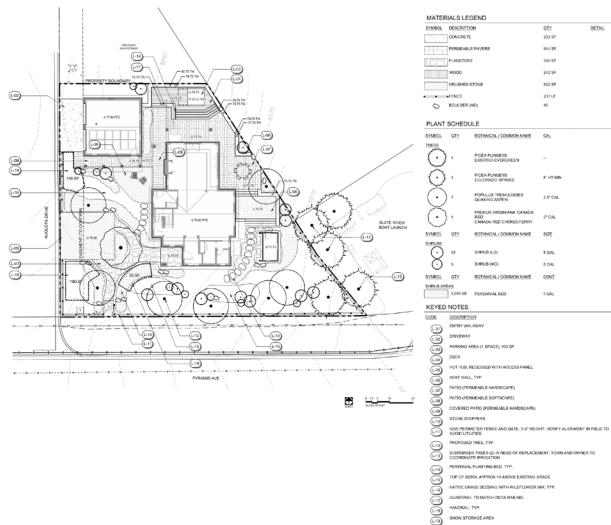
Existing Site



4/21 DRC: Proposed Site plan



5/12 DRC: Revised Site Plan



5/27/2025 BOZAR landscape plan



5/27/2025 BOZAR site plan

b. Mass, scale and form: Refer to GL 4.32-4.34

The proposed building resembles the T- shape forms with secondary appendages. The module with the E/W ridge (37'10") serves as the primary module. The primary ridge steps down to a secondary shed appendage on the front (south) and porch). Then, the E/W ridge is broken on the north by a gable module to the north with a 26'10" ridge, which steps down 6". The Board can discuss if the 37'10" width conveyed in the primary module minimizes the apparent mass of the structure. The north module stepping down to the rear (6") conveys contemporary scale and forms relational with historic resources per GL 4.34 (b). The applicant provided an overhead fly by with the existing site topography and the proposed structures to show heights as compared to existing grade. This can be seen [here](#).

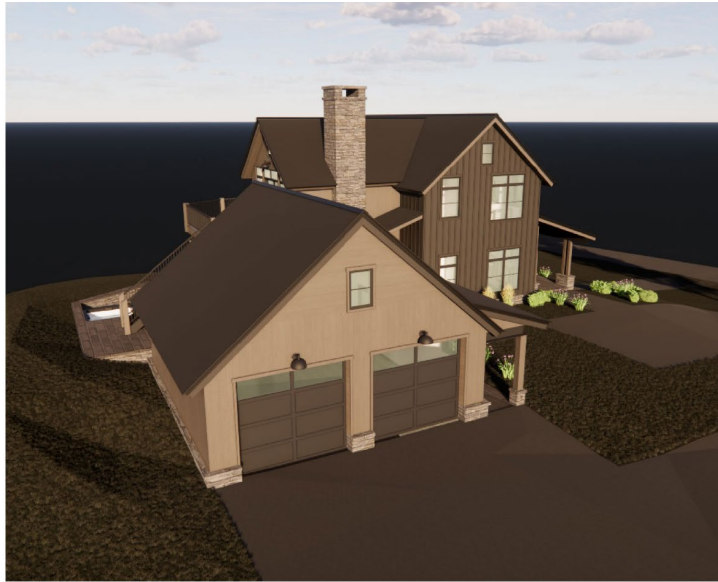
GL	Staff Analysis	DRC Recommendation
4.33-4.34	Consideration of whether the forms achieve relationships with historic buildings are in GL 4.33 and 4.34. 3D drawings are helpful to assess this.	4/21 DRC: Overall support. Members did discuss the appearance of the double post and entry module, as it may be a topic of conversation for the full Board.
4.34 Discernable primary module	The front module, encouraged to be the discernable primary module appears to be met per GL4.34.	Support



4/21 DRC: Southwest perspective



5/12 DRC: Revised Southwest perspective



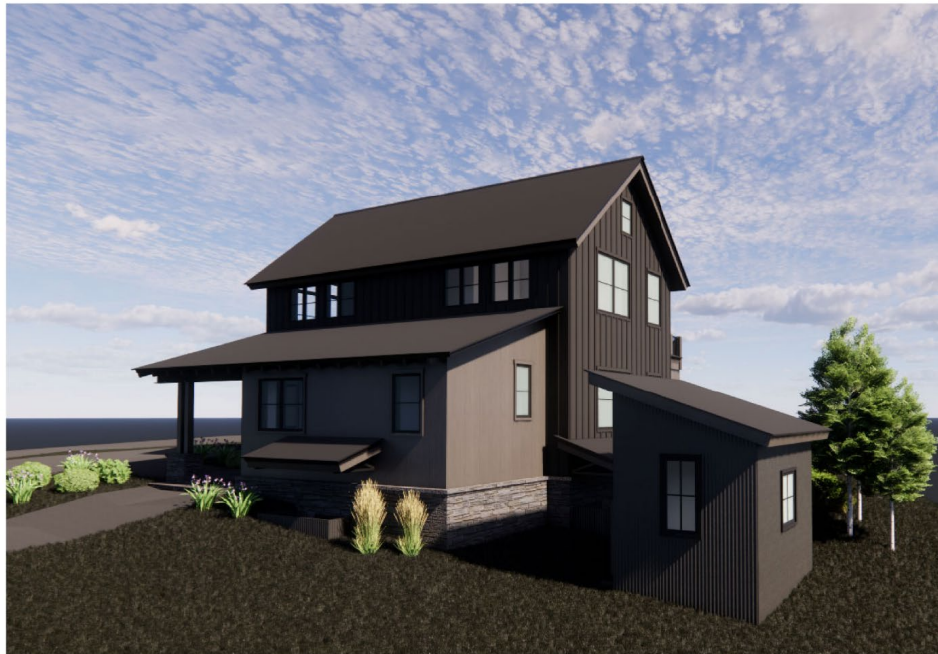
4/21 DRC: West perspective



5/12 DRC: Revised West perspective



4/21 DRC: Northeast perspective



4/21 DRC:Southeast perspective

c. **Design and Style:** Refer to GL 4.35-4.40

GL	Staff Analysis	DRC Recommendation
4.35	Discussion of whether overall building	Support



	forms appear as a product of their own time while relating with historic forms seen in town is encouraged. Staff finds compliance.	
4.36-4.37	Discussion is encouraged as to whether the design of the home relates with the overall styles within the neighborhood or appears incongruent or can be seen as a contemporary interpretation. Consider whether the shed gable module appears as an acceptable contemporary interpretation in height and width or appears incongruent with the neighborhood styles and relationships with historic resources.	4/21 DRC: Members felt that the proposal was contemporary but could be supported. There were minor suggestions for revisions to beam, chimney, front window well. The applicant has made many of these revisions.

d. **Roof forms:** Refer to guidelines *4.41-4.45.

GL	Staff Analysis	DRC Recommendation
4.41	The gabled roof forms (10:12) are symmetrical and appear consistent with the intents of 4.41.	Support
4.42 Shed roofs 4.43 Mixing roof styles	The use of the shed roof (4:12) on the east, north, west and south seem consistent with this GL. General support.	Support
4.44 Ridge lines	The 37'10" ridge (including overhangs)) stepping down in the rear (North) 6" meets the intent of GL 4.44 a.	Support
4.45 Roof pitches	Roof forms of the primary module employs a 10:12 pitch, as encouraged in 4.45. Consider whether the lower pitch of the side shed modules (4:12) are effective in providing acceptable variations or if they add complexity. Consult GL 4.45 and 4.35 (contemporary interpretation).	Support

e. **Porches/Balconies:** Refer to guidelines *4.49-4.52

GL	Staff Analysis	DRC Recommendation
4.49 Covered porches	The entry porch on the South is a shed entry, as encouraged by the GL.	Support
4.50 Mix of porch styles	The entry porch measures 8'x9' which complies with the intents of GL 4.50 b encouraging a depth of four feet.	Support
4.51 Rear porches	The rear shed porch roof 4:12 is atypical and has not been seen. However, members can discuss if this is a contemporary interpretation for this new development zone.	Support
4.52 Second and third story decks	The deck on the north elevation appears to comply with this GL. There is a small section of the deck that angles. However,	Support



	<p>this continues the shape of the lot within this area. This is also not visible from the street. Support</p>	
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4/21 DRC: Rear deck (northeast perspective)



4/21 DRC: Rear deck (north plan view)



5/12 DRC: Revised Rear deck (north plan view)

f. **Windows:** Refer to Guidelines 4.53-4.63.

GL	Staff Analysis	DRC Recommendation
4.53 Window to wall ratio	<p>Window to wall ratios along the front elevation proposes 94.9 sf of glazing/705.7 sf wall space, which is 13.45% window to wall. Support.</p> <p>The first floor presents a two pack and two single windows (39.5 sf), there are four, two packs on the second floor (55.4 sf), which is slightly top heavy. Discussion is encouraged to determine if the proposed meets the intents of 4.53 a and b.</p> <p>The west elevation proposes two single windows, a two pack and door glazing on the first floor and a single window and two pack on the second floor with a small window on the gable. All windows except the window in the gable have a transom.</p> <p>The north elevation proposes two, two packs with transoms and door glazing on the first floor and two single windows and door glazing on the second floor.</p>	Support



	<p>There is a small window in the gable.</p> <p>The rear elevation (north) proposes 223 sf of glazing/ 714.2 sf of wall space, which is 31.2% window to wall.</p> <p>The east elevation proposes four single windows, a two pack and door glazing on the first floor and three, two packs and a single window on the second floor. There is one small window in the gable.</p> <p>The east elevation proposes 254.61 sf of glazing/1036.44 sf of wall space, which is 24.6% window to wall.</p>	
4.54 Vertical emphasis	Windows are proposed as one over one, casement, simulated divided light windows which is consistent with historic homes, which is supported by GL 4.54 a. Window operations have been noted on the plans.	Support
4.56 Window material	Aluminum clad (black) windows are noted on the materials list. General support.	Support
4.57 Fenestration pattern	There appears to be 12" to exterior corners, as required by the GL.	Support
4.58 Groupings of 2 or more windows	Support	Support
4.58 c. Window sizes	<p>There are not more than four window sizes on the front (south).</p> <p>There are not more than six window sizes for other elevations.</p>	Support
4.59 Window and door trim	There is a 2"x3" wood trim noted to match siding. Support.	Support
4.60 Divided lights	Simulated divided lights are noted on the materials list. Support	Support
4.61 Transom windows	<p>The north, east and west elevations propose transom windows. This GL allows for a limited number within a proposal. This proposal appears to be the exception not the rule.</p> <p>The rough opening is met at 1'6".</p> <p>A 2" divider mullion must be incorporated between the window/door beneath. The applicant added 2" of trim. This material is metal. Discussion is encouraged to ensure that this meets the intents of the GL. This GL does not specifically call out a material.</p> <p>These transom windows add to the</p>	<p>4/21 DRC: Support</p> <p>Support</p> <p>Members asked for the 2" of trim. This has been added.</p> <p>Support</p>



	overall window to wall ratio on the north and east, as proposed.	
4.63 Window Wells	<p>There are window wells included on the north, east and south elevations.</p> <p>The north and east elevation window wells appear to meet requirements of this GL. The south window well was moved to the east elevation and now meets requirements of the GL.</p>	<p>Support</p> <p>4/21 DRC: Members asked for a revision to the south window well to better conform with the GL. The applicant has provided this revision.</p> <p>5/12 DRC: Support</p>

g. **Doors:** Refer to GL 4.64-4.69.

GL	Staff Analysis	DRC Recommendation
4.64 Primary door	The primary door does not face the street, as asked for in the GL. A similar site to this is 501 Gothic Avenue and many on Seventh Street where the front by code is on the south, but the west side is used as the front for the purpose of the door. Discussion is encouraged.	4/21 DRC: Members voiced support but understood that this would likely be a full Board discussion. They said that the southwest corner was the front and there is a door on this façade. The walkway helps to frame this.
4.65 Primary door	The primary door is proposed as ½ light, divided lights in wood (black). Support.	Support
4.66 Secondary doors	<p>There is one half-light door on the north to be metal clad (black). This meets the intents of GL 4.66.</p> <p>There are two sets of full light French doors on the north, which appear to meet the intents of this GL, as they are not highly visible from the street.</p> <p>There is a three-panel folding door proposed for the east elevation. The opening now meets width allowance of 9'. Height of the doors is 6'10", which complies.</p>	<p>4/21 DRC: Members voiced overall support for the secondary doors as proposed with a slight reduction in width to meet GL. The applicant has provided this revision.</p> <p>5/12 DRC: Support.</p>

h. **Lighting:** Refer to GL 2.37-2.40.

GL	Staff Analysis	DRC Recommendation
2.37 /4.74 Exterior lighting	Lighting has been added on the plans and appears consistent with the GL and code.	Support

i. **Materials:** Refer to GL 4.75-4.83.

The building proposes a 1"x12" wood board and batten siding for the main body (peppercorn) with a 6" vertical lap siding (driftwood gray stain) for secondary modules.



Gables propose a 6” horizontal lap siding (driftwood gray). There is a foundation cover and chimney of dry stack stone (gray mix).

The roof is a corrugated metal (black).

Trim is noted as 2”x3” wood (match sidings). A 2”x10” fascia (driftwood gray) and 2”x4” shadow board (black). A 2”x6” wood corner board (match siding) is noted.

The primary door is proposed as ½ light, divided lights in wood (black). There is one half-light door on the north to be metal clad (black). There are two sets of full light French doors on the north. There is a three-panel folding door proposed for the east elevation. Material confirmation is needed for all north/east doors.

Windows are proposed as aluminum clad, casement windows with simulated divided light, (black).

There are 3”x8” exposed rafter tails (driftwood gray stain). **8”x12” wood beams (driftwood gray stain) are noted at the front porch.** There are 6”x6” wood columns noted for the front porch (driftwood gray stain). The roofs over window wells are supported by steel, sizing must be confirmed.

Details regarding the deck railing, posts and top cap sizing is required. **The plans note black steel spindles, wood top cap (black) with 8”x8” posts and newels.**

GL	Staff Analysis	DRC Recommendation
4.71 Chimney	The chimney appears large and oversized as seen from the west. The top is 3’4”, as seen from the north and east. Then it steps up to 7’1” at the base. Discussion is encouraged. The applicant has noted that this is what is required by code. A comparison of two other approved projects have been provided in plan view by the applicant. They have also provided comparison photos that they will overview in their presentation.	4/21 DRC: Members voiced concerns regarding the chimney as proposed. 5/12 DRC: Members again discussed the chimney and encouraged reduction. The owners would like the chimney to remain, as proposed.
4.72 Eaves and overhangs	The proposed appears to meet the intents of this GL.	Support
4.75 Exterior materials	Siding materials appear to meet the intents of this GL.	Support
4.75 e /4.80 a foundation treatment	The rock varies in height and does exceed 18” in certain areas. This must be reduced. The area on the south is highly visible. Discussion came up about Treasury Hill and the Heights, there has been a flexibility allowed for this zone district (R1B) due to existing materials and	4/21 DRC: full Board discussion



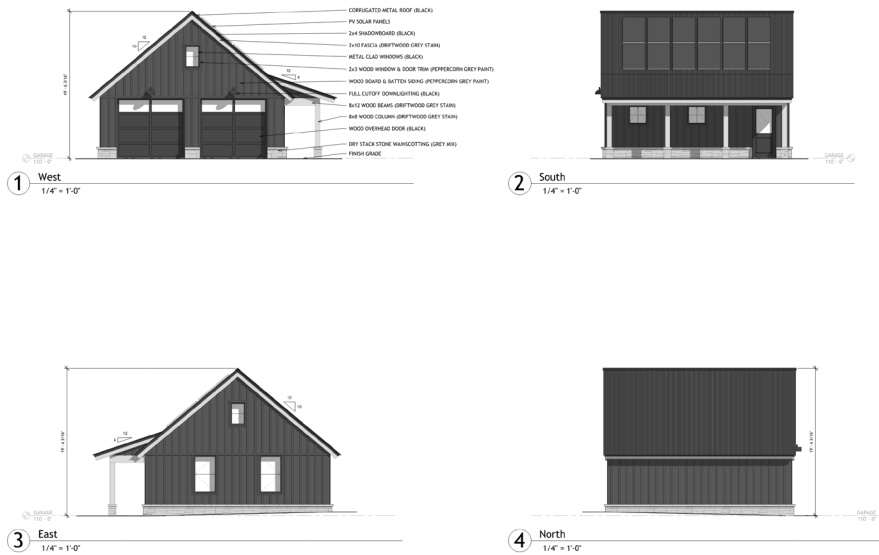
	<p>other features. Photos may be provided by the applicant of this area. However, this is a new zone R1F and discussion is needed to determine if this is appropriate. Staff suggests that this may be incongruent on the street side (south) elevation. It is important to note that the majority of the home does keep with the 18" requirement. Only the southeast corner exceeds this.</p>	
4.75 e Metal materials	<p>The beam on the front porch was revised to wood to better meet intents of the GL.</p> <p>The metal braces and post tops are a revision to the original approval and are consistent with this GL.</p>	<p>4/21 DRC: Revise from metal, as it makes the contemporary building inappropriately contemporary.</p> <p>Support</p>
4.82 Roofing	The corrugated metal (black) roof is supported.	Support
4.83 Porch railing	Railings appear to meet the intents of the GL, but materials and sizing must be confirmed to ensure this.	Support

Accessory building mass/scale/form and placement (garage): Refer to GL 4.84-4.86, 4.89;
The proposed north accessory building is an 24'x24' gable module. The main module has a 10:12 pitch with a 4:12 small shed porch roof on the south. This must be a cold building due to the size, as proposed.

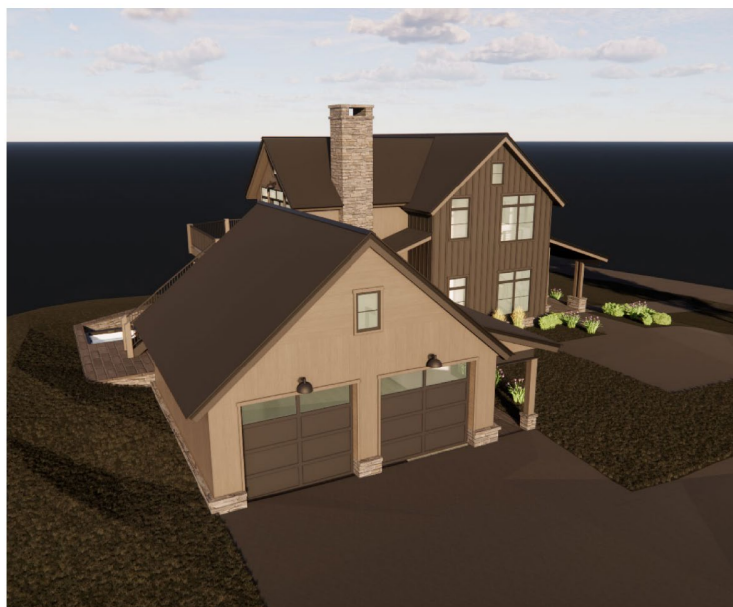
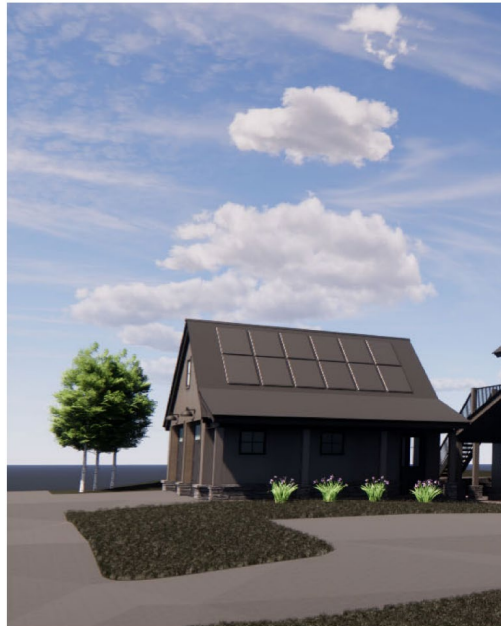
GL	Staff Analysis	DRC Recommendation
4.84 Smaller in size	The proposed building is smaller in scale than the primary building, as requested by the GL.	Support
4.85 Rear of the site	This building is located on the rear/north	Support
4.86 Vary appearance	This is the first accessory building within this zone. So, the context is being developed.	Support
4.89 d. porches	The small, covered entry for this building can be supported.	Support



4/21 DRC: Elevations



5/12 DRC: Revised Elevations



4/21 DRC: Northwest perspective



5/12 DRC: Revised Northwest perspective

a. Accessory building windows: Refer to GL4.53-4.63, 4.89;

GL	Staff Analysis	DRC Recommendation
4.53; 4.89 AB fenestration	There are two gable windows on the east and west. Then, there are two single windows on the east and two single, square windows on the south. Support	Support
4.54 Vertical emphasis	Windows are proposed as two over two casements with simulated divided lights.	Support
4.56 Window material	Windows are noted as aluminum clad (black) to match primary building. Support.	Support
4.59 Trim	Wood trim 2"x3" (driftwood gray stain) is noted. Support	Support

b. Accessory building doors: Refer to GL –4.64-4.66, 4.68-4.69 4.90;

GL	Staff Analysis	DRC Recommendation
4.66 Secondary Doors	There is a ½ light person door on the south, which is noted as metal clad (black).	Support
4.69, 4.90 Garage doors	There is a garage door proposed on the west. It is noted as custom	Support



	overhead garage door wood with ¼ light (black). Support.	
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c. **Accessory building materials:** Refer to GL 4.82, 4.89

The building proposes a wood board and batten siding (peppercorn gray). There is a dry stack stone foundation cover (gray mix).

Roofing is noted as corrugated metal (black).

There will be wood trim 2"x3" (driftwood gray) for windows and doors. Corner boards will be a 2"x6" (driftwood gray stain). Fascia is noted as 2"x10" (driftwood gray stain) with 2"x4" shadow board (black).

Windows are noted as casements in aluminum clad (black) with simulated divided lights.

Garage door is a custom overhead ¼ light wood (black). There is a ½ light person door on the south, which is noted as metal clad (black).

There will be wood posts and beams 8"x8" wood columns at porch (driftwood gray stain). 8"x12" wood beams (driftwood gray stain) beams are noted at the covered porch.

GL	Staff Analysis	DRC Recommendation
4.82 Roofing	Corrugated metal is supported for the roofing.	Support
4.89 c Simple design and details	The siding, as proposed, is supported relating to the materials.	4/21 DRC: Support. The applicant did revise the materials. 5/12 DRC: Support.
4.75 Metal materials	The beam on the front porch was revised to wood to better comply with this GL.	4/21 DRC: Members voiced that the metal beam was inappropriate. 5/12 DRC: Support
4.90 Garage door	The garage door is proposed as wood, which meets the intents of this GL.	Support

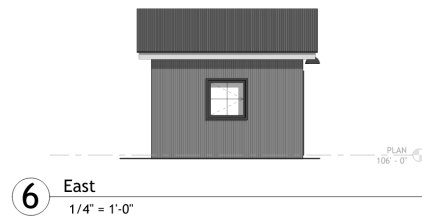
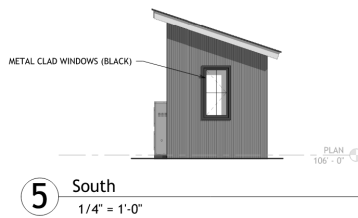
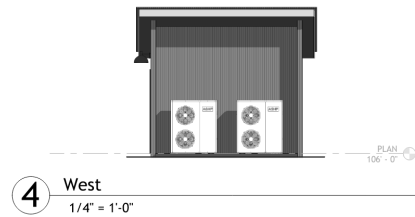
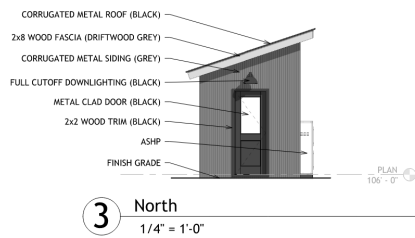
d. **Accessory building mass/scale/form and placement (shed, south):** Refer to GL 4.84-4.86, 4.89;

The proposed south accessory building is a 8'x12' simple shed building. The main module has a 4:12 pitch. Confirmation is needed if this will be a heated structure.

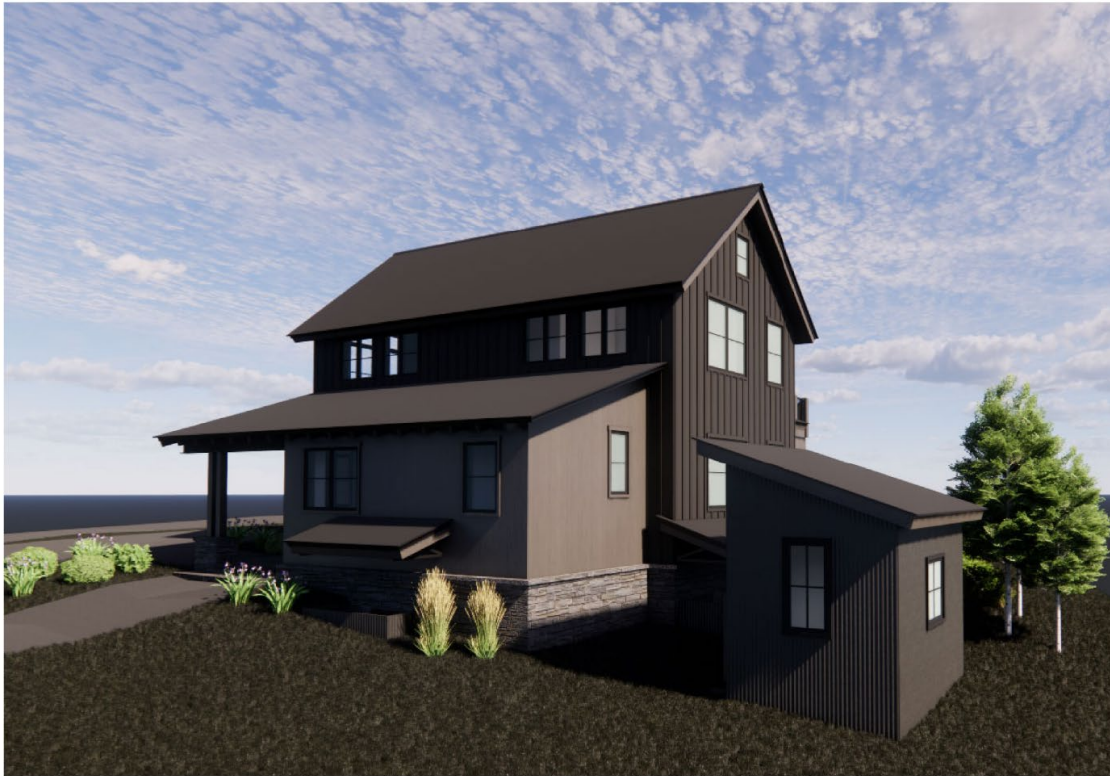
GL	Staff Analysis	DRC Recommendation
4.84 Smaller in size	The proposed building is smaller in scale than the primary building, as requested by the GL.	Support
4.85 Rear of the site	This shed is pushed back 2'6" from the front of the building. There are similar situations within the Paradise	Support



	Park area. This lot is unique and presents challenges for access.	
4.86 Vary appearance	As seen in the perspectives, this building will vary in appearance from other buildings on this portion of the block.	Support
4.89 d. porches	The small, covered area for the air source heat pumps for this building can be supported.	Support



4/21 and 5/12 DRC elevations



4/21 DRC perspectives

e. Accessory building windows: Refer to GL4.53-4.63, 4.89;

GL	Staff Analysis	DRC Recommendation
4.53; 4.89 AB fenestration	There is a single window on the south and east and the door glazing is on the north. The overall fenestration appears simple.	Support
4.54 Vertical emphasis	Windows are proposed as two over two casements with simulated divided lights.	Support
4.56 Window material	Windows are noted as aluminum clad (black) to match primary building. Support.	Support
4.59 Trim	Wood trim 2"x3" (black) is noted. Support	Support

f. Accessory building doors: Refer to GL –4.64-4.66, 4.68-4.69 4.90;

GL	Staff Analysis	DRC Recommendation
4.66 Secondary Doors	There is a metal clad ½ light door on the north (black).	support



g. **Accessory building materials:** Refer to GL 4.82, 4.89

The building proposes a corrugated metal siding (gray).

Roofing is noted as corrugated metal (black).

There will be wood trim 2"x3" (black) for windows and doors. Fascia is noted as 2"x8" (driftwood gray stain).

Windows are noted as casements in aluminum clad (black) with simulated divided lights.

There is a metal clad ½ light door on the north (black).

GL	Staff Analysis	DRC Recommendation
4.82 Roofing	Corrugated roofing is supported.	Support
4.89 c Simple design and details	The siding, as proposed, is supported.	Support
4.59 trim	The applicants have incorporated wood trim with the metal, which is appreciated.	Support

VII. DRC Findings:

- a. Support for mass/scale/form from primary building.
- b. Support for mass/scale/form for accessory building (garage).
- c. Support for mass/scale/form for accessory building (shed).
- d. Support for architectural appropriateness for accessory building (garage).
- e. Support for architectural appropriateness for accessory building (shed).
- f. Support for materials for accessory building (shed).
- g. Support for materials for accessory building (primary and garage).
- h. Support for architectural appropriateness or primary building with:
 - i. Full Board discussion regarding chimney.
 - ii. Full Board discussion regarding exterior rock height.

VIII. Proposed findings and motions:

1. Finding (Architectural Approval)

The Board finds that the application of **Franklin D. Guidone and Elizabeth A. Guidone** to site a single-family residence and two accessory buildings (one cold, one heated) to be located at 75 Pyramid Avenue, Lot T3, Slate River Subdivision in the R1F zone **will not appear excessively similar nor dissimilar** or will appear excessively similar or dissimilar to residential structures within the surrounding neighborhood. The scale and forms of the home **are effective in incorporating** or are not effective in incorporating traditional forms seen within the surrounding R1F zone; and

(Accessory Buildings)



The cold accessory building (garage) and heated accessory building shed both appear subordinate in scale to the residence by reducing the overall mass on the site and convey relationships with historic styles. The architectural design of the buildings can be **supported** or cannot be supported based upon the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.84-4.86 (location and massing/forms, scale), 4.89 and 4.90 (materials) and _____.

The architectural design and style of the residence can be **supported** or cannot be supported per the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.32-4.34 (mass/scale) and 4.35 (contemporary interpretation), 4.41-4.45 (roof form/scale), 4.49-4.52 (porches), 4.53-4.63 (windows), 4.64-4.66 (doors), 4.72, 4.75-4.76, 4.82-4.83 (materials), with the following conditions:

- Final landscape plan should be provided to the building department for Chair review and sign off if changes are proposed during the construction phase.
- The natural average grade for the purpose of measuring FAR will be 8875' for the primary building. The natural average grade for the purpose of measuring FAR will be 8880' for the accessory building (garage). The natural average grade for the purpose of measuring FAR will be 8871' for the accessory building (shed).
- Parking will be maintained and accessible on a year-round basis.
- Snow must be stored on the site or removed from the site. Snow may not be placed on the Town rights of way.
- The improvements will be constructed as per the approved plan on file at the Town offices.
- Requirements of the Colorado Model Electric Ready and Solar Ready code must be met prior to permitting, including EV ready parking space for the dwelling unit.
- The sewer line connection is actually located in the northwest corner of the lot.
- Prior to permitting for construction, we will need a:
 - Stormwater management plan
 - Proof of erosion control for the site
- The water connection is actually located in the southwest corner of the lot.
- There is an irrigation line in the right of way directly to the south of the south property line. This should be shown on the site plan. With this line's location in mind:
 - The propane tank must be at least 5' or more away from the property line on the south.
 - The trees on the south need to be scooted back from the property line to ensure that they don't encroach into the ROW and this irrigation line area.
- The utility easement on the west side of the property must be on the site plan. With this easement in mind:
 - The trees on the northwest corner must be removed, as they are in the utility easement.
- A permanent drainage plan will be needed for the site, which would be reviewed by Public Works and Astrid.

Chimney (support): The west chimney **can be supported**, as drawn per the application of GL 4.25-4.26, 4.71.

Chimney (denial): The west chimney is seen as oversized and dominates the façade, as discouraged by GL 4.71 and therefore does not comply per the application of GL 4.26, and 4.71.



Rock Foundation Cover Height (support): The foundation cover heights that exceed 18”, which conflict with GL 4.75 e and 4.80. However, this can be supported because this is a new development zone, much like the R1E zones and their varied applications, as drawn per the application of GL 4.25-4.26.

Rock Foundation Cover Height (denial): The foundation cover heights that exceed 18” therefore do not comply per the application of GL 4.26, 4.75 e and 4.80.

If approved by the Board, the approval is valid for one year from the approval date with a request for extension of up to three years administratively through Staff.

Motion (Architectural appropriateness)

Motion to **approve** or deny the architectural appropriateness for the application of **Franklin D. Guidone and Elizabeth A. Guidone** to site a single-family residence and two accessory buildings (one cold, one heated) to be located at the aforementioned address in the R1F zone (with any changes specified _____) and based upon the findings, and per the plans and material list.

2. Finding (Accessory building - Conditional use)

The Board finds that the conditional use permit for an accessory building, non-residential use, heated as part of the application of at **Franklin D. Guidone and Elizabeth A.**

Guidone to site a heated accessory building to be located at the aforementioned address in the R1F zone **can be supported** or is opposed based upon criteria contained in Code Section 16-8-30 (b) and compliance with the definition within Section 16-1-20.

Motion: Conditional Use

Motion to **approve** or deny the conditional use permit to construct an accessory building, non-residential use, heated to be located at the aforementioned address in the R1F zone (with any changes specified _____) and based upon the criteria in Code Section 16-8-30. This approval will result in the granting of a vested property right.

DRC Notes 5/12/2025 DRC
Members; Anderson and Schmidt

1. (Guidone 75 Pyramid Ave);Staff Overview: Earley explained that Chris Penfield and Andrew Hadley have submitted revised plans for a new single family residence and two accessory buildings. Both accessory buildings will be cold buildings. The rear setback has been revised and meets requirements. Snow storage has been included and meets the 33% requirement. Parking was revised and is now noted on the site plan. Existing/natural grade must be confirmed on elevations and sections to ensure that the height requirements are met. Grade must also be confirmed for both accessory buildings as they are different than the primary building. The following information must be included on the site plan: drainage, 10' utility easement on the west, ground cover. Mass/scale and form appears compliant. Roof forms appear compliant. The window to wall ratio on the front (south) is relational. I've included information on the east and north, if this is a discussion point. The transom windows now incorporate 2" of dividing trim between the transom and window/door below. This is a metal material for trim, discussion is encouraged to determine if this is appropriate versus wood. The front window well was shifted to the east to better comply with GL 4.63. Doors appear compliant. Lighting appears compliant. The chimney appears large and oversized as seen from the west per GL 4.71, but Penfield confirmed this is what is needed per code/installation requirements. The top measures 3'4" which steps up to 7'1". This will be hidden from the front, as it is under the rear porch and also from the side with the placement of the AB/garage, but discussion is encouraged. Foundation cover exceeds the 18" maximum and must be reduced. The metal beam material was revised to wood. The AB north/garage was supported for placement and simplicity. Windows, doors, roof forms and porches were supported. The material break in the gable was revised. The metal beam was again revised on this building to be wood. The AB south/shed was supported for placement. The roof form, windows, doors are supported. Materials are supported.

Hadley and Penfield were present and explained that the owners would like to heat the small shed on the east.

Chimney: The wood stove will be a Rumsford 1500 and the clearances are 7'. This was reduced 3" from the last submission. Members expressed concern regarding the view on the west. They feared it could set a precedent and be excessively dissimilar as described in GL 4.71. They suggested moving the exterior wall portion of the chimney in 1'-18".

Front door: This site is not typical and these lots are not on town grid. They could support and understand the proposal for the front door.

Site plan: Hadley provided a new landscape plank, which showed a wood deck on the northwest corner. He walked through the other updates. There would be no sod, only natural grasses.

The applicants have offered irrigation to the town parcel from their parcel to help water trees. Earley will check with Hansen and MacDonald.

Support for move of window well.

Support for height of rock material.

The window to wall ratio is supported.

AB garage – support materials change.

ACCESSORY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME GUIDONG

LEGAL LOT 3 AUGUSTA PARK ZONE R1-F

ADDRESS _____

TYPE OF STRUCTURE

- ☐ Accessory Building, heated and/or plumbed ☒ Accessory Building, cold
☐ Accessory Dwelling ☐ Addition ☐ Historic Rehab
☐ Other _____

ROOFING TYPE

- ☐ Shake Shingle ☐ Pro Panel style ☐ Galvanized, Corrugated
☐ Milled Shingle ☐ Standing Seam ☐ Metal
☐ Other CORRUGATED METAL BLACK ☐ 5-V Crimp

EXTERIOR FINISH

Siding

TYPE SIZE LOCATION COLOR

☐ Horizontal _____

☒ Vertical 1x6 WOOD Board and batt Peppercorn GRAY

☐ Other corrugated metal (gray)

☐ Stucco _____

☒ Trim 2x4 DRIFTWOOD GRAY Garage, 2"x3" trim (black) shed

☒ Fascia 2X10 w 2X4 SHADOWBOARD - DRIFTWOOD GRAY garage
2"x8" driftwood - shed

☒ Corner Boards 2X6 DRIFTWOOD GRAY

DOORS

MATERIAL **STYLE** **FINISH**

☒ Primary door 1/4 LITE GARAGE DOORS
WOOD - BLACK

☒ Secondary door 1/2 LITE - METAL CLAD BLACK

WINDOWS

Type:

☒ Casement

☐ Casement, egress

☐ Double hung

☐ Awning

☐ Fixed

☐ Slide-by

Style:

☒ Simulated,
divided lite

☐ True, divided
lite (historic)

☐ Decorative
mullions

☐ Other

Material:

☐ Wood

☒ Aluminum
clad, wood

☐ Other

Glazing:

☒ Low E

☐ Heat mirror

☐ Tempered

☐ Standard

☐ Other

Describe locations if a mix is used Black

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

SOLAR PANELS

Garage = foundation cover dry stack stone gray mix, wood posts and
beams 8"x8" (driftwood) 8"x12" wood beams (driftwood are noted at
side covered porch.

I agree to submit changes from the list above to the building inspector and BOZAR
chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE

DATE 9/1/25

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME GUIDONE

LEGAL LOT 3, AUGUSTA PARK ZONE R1-F

ADDRESS _____

TYPE OF STRUCTURE

☒ Single Family

☐ Multi Family

☐ Accessory dwelling

☒ Accessory Building

☐ Addition

☐ Other _____

☐ Commercial

☐ Historic Rehab

ROOFING TYPE

☐ Shake Shingle

☐ Milled Shingle

☐ Other CORRUGATED . BLACK

☐ Pro Panel style

☐ Standing Seam

☐ Galvanized, Corrugated

☐ Metal
5-V Crimp

EXTERIOR FINISH

Siding

TYPE

SIZE

LOCATION

COLOR

☐ Horizontal Gables propose 6" horizontal lap siding (driftwood gray)

☒ Vertical BOARD & BATTEN . SOLID BODY . PEPPERGRAY 1X12

☒ Other VERTICAL SHAPLAP . DRIFTWOOD GRAY 1X6

☐ Stucco _____

☒ Trim 2X4 . COLOR TO MATCH SIDING

☒ Fascia 2x10 w/ 2x4 shadowboard - driftwood grey

☒ Corner Boards 2x6 - color to match siding

DOORS

MATERIAL

STYLE

FINISH

☒ Primary door WOOD - HALF LITE BLACK
1/2 light with divided lights

☒ Secondary door METAL CLAD - HALF LITE BLACK

Two sets, full light French doors metal clad, black

Three panel folding door (north) metal clad black

WINDOWS

Type:

☒ Casement

☐ Casement, egress

☐ Double hung

☐ Awning

☐ Fixed

☐ Slide-by

Style:

☒ Simulated, divided lite

☐ True, divided lite (historic)

☐ Decorative mullions

☐ Other

Material:

☐ Wood

☒ Aluminum clad, wood

☐ Other

Glazing:

☒ Low E

☐ Heat mirror

☐ Tempered

☐ Standard

☐ Other

Describe locations if a mix is used BLACK METAL CLAD

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

BLACK METAL RAILING w/ 8x8 POSTS AND NEWELS

WOOD TOP CAP

Foundation cover and chimney - dry stacked stone (gray), 3"x8" exposed rafter tails (driftwood), 6"x6" wood columns (driftwood), kickers at window wells black steel, 8"x12" wood beams (driftwood) at porches

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE

David Henry

DATE 4/7/25

DATE	FEES PAID	APPLICANT	APPLICATION #
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DEVELOPMENT PERMIT APPLICATION

Town of Crested Butte Building Department
PO Box 39 Crested Butte, Colorado 81224
(970) 349-5338

*Return this completed application to the Building Department with all necessary documents as identified in the Building Permit Application Requirements form.

PROJECT PHYSICAL ADDRESS PYRAMID AVE	LEGAL ADDRESS LOT 3 AUGUSTA PARK	ZONE R1-F	USE TYPE RES
--	--	---------------------	------------------------

APPLICANT/AGENT ANDREW HADLEY	MAILING ADDRESS	TELEPHONE	EMAIL
PROPERTY OWNER FRANK GUIDONE	MAILING ADDRESS 4708 ALEXANDER ST BAKE	TELEPHONE 214-215-6525	EMAIL FRANK.GUIDONE@REHODCAP.COM
CONTRACTOR	MAILING ADDRESS	TELEPHONE	EMAIL
ARCHITECT AHA	MAILING ADDRESS BOX 1294 CB, CO	TELEPHONE 970-349-0806	EMAIL ANDREW@ANDREWHALEYARCHITECT.COM
ENGINEER	MAILING ADDRESS	TELEPHONE	EMAIL

BUILDING CLASSIFICATION:

SFR ☒ DUPLEX ☐ MULTIFAMILY ☐ COMMERCIAL ☐ ACC.DWELLING ☐ ACC.BUILDING ☒ HISTORIC ☐

PROJECT TYPE:

NEW CONSTRUCTION ☒ ADDITION ☐ REMODEL ☐ PLUMBING/MECHANICAL ☐ OTHER ☐

PROJECT DESCRIPTION CONSTRUCT SINGLE FAMILY RESIDENCE AND ACCESSORY BUILDING	ESTIMATED PROJECT VALUATION MATERIALS \$1,600,000 LABOR \$2,400,000 TOTAL \$4,000,000
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DEPARTMENTAL USE ONLY

SPECIAL CONSIDERATIONS: CONDITIONAL USE PERMIT <input type="checkbox"/> _____ CONDITIONAL WAIVER <input type="checkbox"/> _____ VARIANCE <input type="checkbox"/> _____ PUD <input type="checkbox"/> _____	SETBACKS FRONT REAR SIDE() SIDE() Existing Primary Accessory Proposed Primary Accessory
--	--

EXISTING BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL	PROPOSED BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL
EXISTING FAR	PROPOSED FAR
BUILDING WIDTH	BUILDING HEIGHT
PARKING SPACES	% OPEN SPACE
# OF LIVING UNITS	ZONE
EXISTING EQR'S	PROPOSED EQR'S
REQUIRED SUBMITTAL DOCUMENTS Limited Power of Attorney <input type="checkbox"/> Recorded Conveyance Deed <input type="checkbox"/> Materials Lists <input type="checkbox"/> Plans (Full-Size & 11"x17") <input type="checkbox"/> Publication Fee Fee _____ <input type="checkbox"/>	

This Building Permit shall become null and void if construction is not commenced within 60 days of the date of issuance. The Building Permit shall expire one year after the date of issuance and all construction must be completed prior to the expiration of the permit; provided, however, that the building inspector may renew the Building Permit for additional six month periods FOR GOOD CAUSE SHOWN and without additional cost to the applicant.
I hereby certify that all the information provided in this application is true and correct. I understand that submittal of this application does not constitute a right to perform the work or establish the use requested. I understand that the request may be denied, approved or approved with changes or conditions. Fees that are associated with the application are not refundable. I understand that the application, if approved, must be constructed in accordance with the approved plans and conform with the Town's architectural approval and applicable building codes. I understand that any approval will become null and void 180 days after the approval date if a permit is not purchased, or three years if a vested property right is purchased.

Signature of Contractor/Authorized Agent Date **4/11/25**

Signature of Owner/Authorized Agent Date