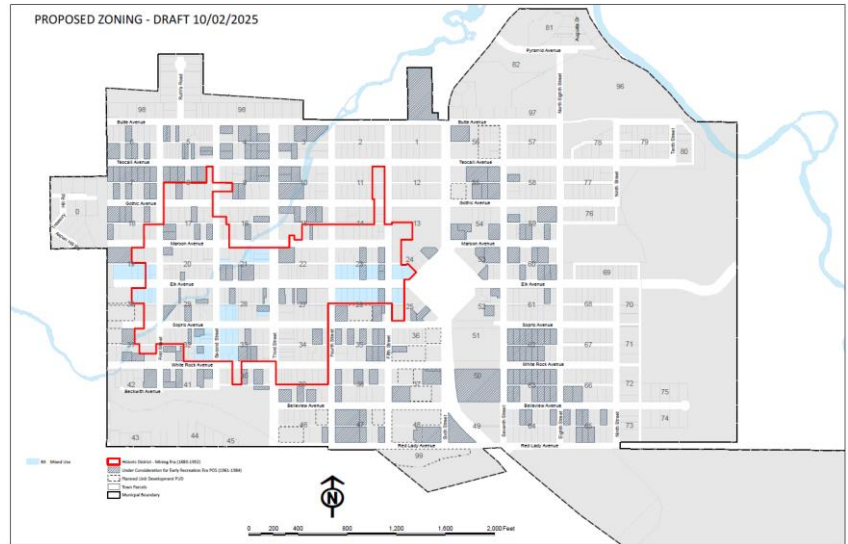


Town of Crested Butte Zoning Code Update

B3 (Mixed Use) Zone Considerations

About this Zone

The B3 District is intended to support a mix of residential and business uses while preserving its historic structures. In the zoning code update, the B3, B4, and R3C districts are proposed to be consolidated into a single B3 district in recognition the provisions are essentially already the same. The update will continue to allow residential and compatible business uses, with a focus on maintaining the scale, character, and historic integrity of existing buildings.



Changes being considered:

Provision	Current	Proposed
Land Uses - What type of use is allowed in this zone	Permitted Uses (uses allowed by right) B3: One family dwellings, Private garages as accessory, Accessory, nonresidential, no heat/plumbing, Open Use Rec Sites, clubs, theatres, hospitals, public bldgs, gov't offices, Office uses (not on 1st floor on Elk), Home Occupations, Financial Institutions (not on 1st floor on Elk), Medical/Dental Clinics, Newspaper publishing offices, Personal Services Establishments, Retail Commercial Establishments - Shop Crafts, Motor vehicle, snowmobile, rec vehicle rental - Rental Repair and wholesaling facilities B4: One family dwellings, Private garages as accessory, Open Use Rec Sites, clubs, theatres, hospitals, public bldgs, gov't offices, Office uses, Home Occupations, Financial Institutions, Medical/Dental Clinics,	<i>Uses and definitions will be improved and consolidated to reduce inconsistencies and overlaps and definitions will be reviewed for best practices. Primary changes are to continue allowing residential and retain, as a permitted use, while allowing opportunity for other commercial uses with conditions.</i> Permitted (uses allowed by right) - Dwellings - Accessory Dwellings - Public Transit Stops - Public Recreation Trails - Office uses - Retail Commercial Establishments - Local serving retail establishments Conditional (uses considered with a conditional use permit) - Congregate Housing - Accessory Buildings - Public Transit Facilities - Childcare facility - Public Museums - Assembly- religious or secular - Shop craft industries - Restaurants and bars - Restricted Food Service - Funeral Parlor and Mortuaries

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	Newspaper publishing offices, Personal Services Establishments, Retail Commercial Establishments, Rental Repair and wholesaling facilities • R3C: One-family dwelling units, Accessory buildings, nonresidential use, not heated or plumbed, Home occupations, Private garages as accessory buildings to the principal uses. Conditional Uses (uses considered with a conditional use permit) • B3: Employee dwellings, Accessory Dwellings, Parking Areas, Bed and Breakfast, Restaurants, cocktail lounges • B4: Employee dwellings, Accessory Dwellings, Accessory, nonresidential, no heat/plumbing, Parking Areas, Restaurants, cocktail lounges • R3C: Accessory dwellings, Two-family dwelling units, Historic primary dwellings redesignated as accessory dwellings, Public playgrounds and public recreation areas, Churches and church schools, Nonprofit libraries and museums, Public and private schools, Shop crafts, Bed and breakfast, Retail commercial establishments, Office uses, Financial institutions, Personal services establishments, Restaurants, cocktail lounges or places serving food or alcoholic beverages, excluding drive-in eating places that serve customers in their automobiles or vehicles, Medical and dental clinics, Open-use recreation sites, recreation clubs, theatres, assembly halls, hospitals, public buildings and governmental offices, Rental, repair and wholesaling	
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	facilities, Printing offices, Hotels, lodges, motels and resorts, Club, Noncommercial nurseries and greenhouses, Fraternities and sororities, Funeral parlors and mortuaries, Parking areas, Accessory buildings, nonresidential use, heated.	
Parking – How many off-street parking spaces are required	Off-street parking requirements dictated by use, such as: • Residential: Absolute requirements based on bedroom (example: 2 spaces for 4 bedrooms or less) • Retail: 1 space per 500 sf of usable space	<i>Recognizing the availability of on-street parking (even in winter) and the built-out nature of Crested Butte, the zoning update recommends reducing minimum parking requirements by leveraging available on-street parking.</i> Residential Units • Minimum of 1 space per unit Deed-Restricted Residential Units • No minimum Commercial uses: No changes, but the payment in lieu of parking fee will be updated
Lot Measurements – Provisions for how small or big a lot can be	Minimum Lot Area (Minimum – Maximum) • B3: 5000-6250 sf • B4: 5000- 6250 sf • R3C: 5000- 7250 sf Minimum Lot Width: • B3: 25 ft • B4: 25 ft • R3C: 50 ft	<i>Minimum lot areas and widths are proposed to be removed in recognition its redundant to require a minimum when setbacks, snow storage, building code requirements, etc. ultimately determine a minimum lot size.</i> • Minimum Lot Area: No minimum, 7250 sf maximum • Minimum Lot Width: No minimum
Setbacks – How far buildings need to be setback from the lot boundaries	Front Setback: • B3: None • B4: None • R3C: None Side Setbacks: • B3: 3-11.5 ft dependent on roof form and snowshed • B4: 3-11.5 ft dependent on roof form and snowshed • R3C: 7-11.5 ft dependent on roof form and snowshed Rear Setbacks: • B3: 10 ft (primary), 5ft (accessory) • B4: 10 ft (primary), 5ft (accessory)	• Front Setback: None • Side Setback: No change for sloped-roofed buildings. 0' Setback for flat roofed buildings. Allowance of mechanical equipment (for example a heat pump) in the setback. • Rear Setback: 5 ft for all buildings

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	R3C: 10 ft (primary), 5ft (accessory)	
Additional provisions – Additionally specific provisions for this zone district	B3, B4, R3C: Specific provisions for roof forms, wall height, and stream margin review for uses within 20 ft of a water course.	- Roof forms and design provisions will be evaluated and updated to provide more flexibility in the Design Standards Update. These will live in the Design Standards, not the Zoning Code. - Stream margin review will instead become an overlay of floodplain requirements that reference the floodplain review article in the code, rather than embedded within different zone districts.
Floor Area Ratio (FAR) - How much building area is allowed relative to lot size	B3 - Minimum floor area of 400 sq ft with option for less for historic shed converted into an accessory dwelling - Maximum FAR .4 for all buildings, up to .5, dependent on provision of site amenities. B4 - Minimum floor area of 400 sq ft with option for less for historic shed converted into an accessory dwelling - Maximum FAR .4 for all buildings, up to .5, dependent on provision of site amenities. R3C - Minimum floor area of 400 sq ft with option for less for historic shed converted into an accessory dwelling - Maximum FAR .48 for all buildings and all buildings shall not be larger than 3,500 sq ft in the aggregate.	- Minimum floor area will be removed and deferred to the international building code - Maximum FAR of 0.5 or 3500 sf for all buildings.
Building Measurements – How much height or width is allowed for buildings	Height Maximum: B3: 30 ft B4: 30 ft R3C: 28 ft	28 ft height limit.
Demolition – Requirements	Buildings must meet certain requirements to be eligible for	No changes, except the demolition regulations will be evaluated to include

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for demolition and redevelopment	demolition and if the redevelopment exceeds the original FAR, then a deed restricted unit must be included	demolition by neglect, to reduce buildings from deteriorating due to neglect.
Incentives – Additional benefits or flexibility allowed in exchange for community benefits	None	None within the code, but as an outcome of the Historic Preservation Plan, a historic building stabilization and maintenance incentive program will be created in 2026 to help facilitate rehabilitation and possible conversion of historic outbuildings into accessory dwelling units and/or accessory buildings to be used as small-scale commercial space.
Design Standards – Architectural design rules that govern how a building is designed	All buildings follow the Design Standards and Guidelines, with provisions for new construction or rehabilitation of historic buildings to reflect the Coal Mining Era	<i>Kicking off in November, the Design Standards will be updated to have more clear and concise standards for three different areas of Town:</i> Coal Mining POS (1880-1952): The historic core (outlined in red on the map) will have standards to reflect the coal mining era. Early Recreation POS (1961-1984): A new Period of Significance (parcels shaded on the map are currently being surveyed for architectural significance) will have standards to reflect the early recreation/ski era of the 1960s – early 80s. Mass, Scale, Form: Outside of these historic districts, new standards guiding mass, scale, form will ensure Crested Butte’s character is celebrated while allowing more flexibility in style.