



Staff Report

To: BOZAR
From: Jessie Earley, Town Planner III
Meeting Date: BOZAR, January 28, 2025
RE: (320 and 320 ½ Gothic Avenue), Final Review

PROJECT TITLE: Agosto 2023 Management Trust (320 and 320 ½ Gothic Avenue)

SUMMARY: Consideration of the application of **Agosto 2023 Management Trust** to site a new single-family residence and accessory dwelling to be located at 320 and 320 ½ Gothic Avenue, Parcel 2, Booth Minor Subdivision, Block 15 in the R1 zone.

- **A conditional use permit for an accessory dwelling in the R1 zone is requested.**
- **Architectural approval is required.**

LEGAL DESCRIPTION: Parcel 2, Booth Minor Subdivision, Block 15

ADDRESS: 320 and 320 ½ Gothic Avenue

ZONE DISTRICT: R1

OWNER: Agosto 2023 Management Trust

APPLICANT: Chris Penfield and Andrew Hadley

DRC MEMBERS: Schmidt and Staab (12/9/2024 DRC); Anderson and Alvarez Marti (1/13/2025 DRC)

STAFF MEMBER: Jessie Earley, Planner III

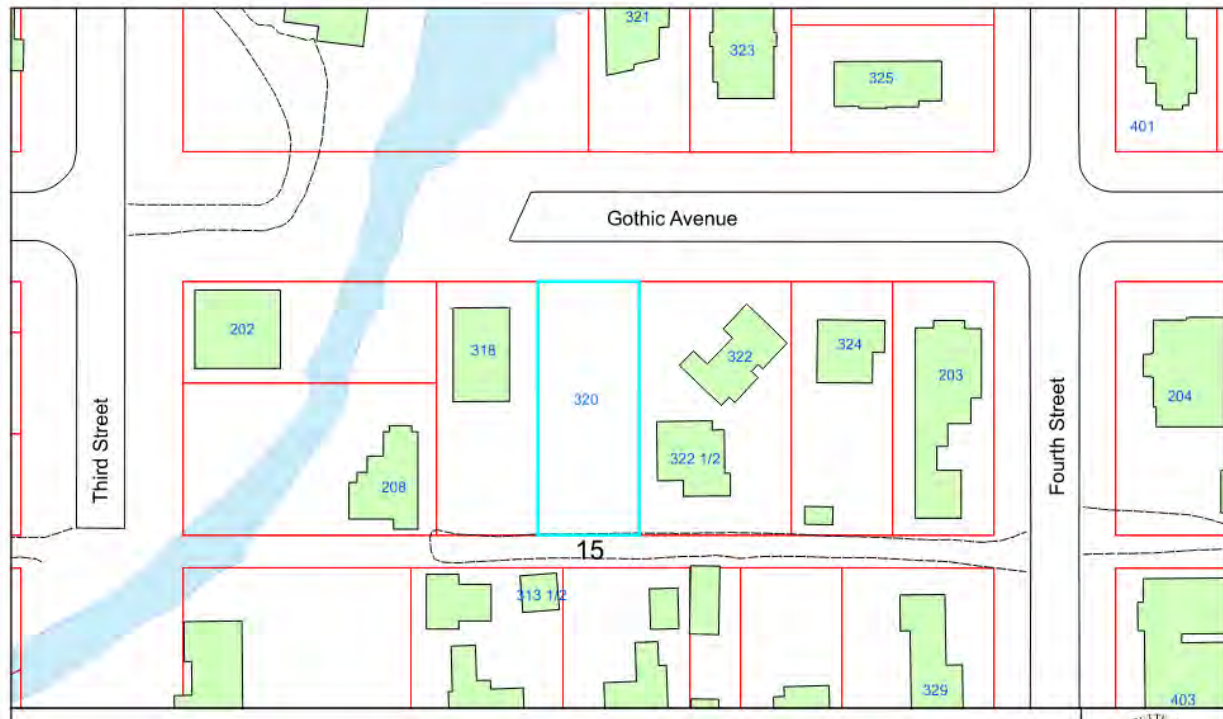
ATTACHMENTS:

1. Plans
2. GIS Map
3. Materials lists
4. Section 16-14-10 – 16-4-70 (R1 zone)
5. Section 16-8-30 (conditional use)
6. DRC Notes (12-9-2024, 1-13-2025)

These packet materials are available at this [link](#). Staff can provide paper copies of the packet upon request.

PROJECT DESCRIPTION

1. Construct a new single-family residence.
2. Construct an accessory dwelling



PUBLIC NOTICE

This item was properly noticed per Section 16-22-110 (c). The affidavit of posting is on file in the Community Development Department.

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- I. Background/Overview:** Chris Penfield of Andrew Hadley Architect submitted an application on behalf of the Agosto's for a new single-family residence and an accessory dwelling (ADU) to be located at 320 and 320 ½ Gothic Avenue. Siding is proposed as a 6" wood lapped siding (beige) and vertical ship lapped siding at gable ends (natural brown). There is an 18" dry stacked stone (gray) foundation cover. Roofing is proposed as a standing seam (dark bronze) for the primary building. The ADU will be clad with vertical 6" lapped siding (natural brown) and corrugated metal (dark bronze) for the 18" foundation cover.



II. **Status:** The applicants met with the DRC at the December 9th meeting. Notes from this meeting are attached for more detailed information. Since that meeting the following revisions were made:

- Lowered subordinate roof at loft level creating a gable on the south elevation.
- Broke up the dominant roof overhang at this new south gable.
- Upper-level windows at North elevation got 6" shorter.
- Removed door at Flex room to create an Office nook.
- Changed to standing seam roof at the ADU.

The applicants met with the DRC at the January 13th meeting. Notes from this meeting are attached for more detailed information. Since that meeting the following revisions were made:

- Expanded utility connections
- Surface drainage indicators
- Removed gravel note on NW corner



- 3 proposed aspens
- 1 proposed blue spruce
- Gravel/pervious paver callouts
- Cooktop added for studio
- Exterior lights added at ADU exterior

III. Context: Refer to guidelines 4.25-4.26. The 300 Block of Gothic Avenue neighborhood is within the R1 zone and has buildings that range in age from 1970 through 2000. The neighborhood consists of primarily single-family residences and one accessory dwelling unit to the east. The south side of Gothic Avenue in the 300 Block bordered by the R1C zone to the south, across the alley, to the east, across Fourth Street and to the west across Third Street.

The Board should determine whether the overall scale and forms of the residence comply with the intents 4.25 and 4.26 (excessively similar or dissimilar) in relation to the neighborhood context.

GL	Staff Analysis	DRC Recommendation
4.25 Excessive similarity	The forms differentiate from the newer residence located in the 300 block of Gothic Avenue per context GL 4.25.	Support
4.26 Excessive dissimilarity	<p>Discussion is encouraged to determine if what is proposed is a contemporary interpretation and variety or if the proposal is excessively dissimilar.</p> <p>A streetscape has been provided to better help determine this proposed structure's relationship with the established neighborhood and context.</p> <p>The 3D perspectives are very helpful to understand how you see this home.</p> <p>Discussion is encouraged regarding the south gable dormer, as it exceeds the 30% requirement.</p>	<p>Support</p> <p>12/9 DRC: Members expressed some concerns for the south gable roof element. This has been revised to be it's own gable module.</p> <p>Members also didn't support the sliding glass door on the ADU due to GL 4.66. This has been revised to a French door.</p> <p>1/13 DRC: Members discussed the gable element on the rear. One member could support, as drawn. The other member encouraged a 6-8" relief to show that the element was a module. No changes have been made.</p>





Northwest perspective



East perspective



12/9 DRC: Southeast perspective



1/13 DRC and 1/28 BOZAR: revised Southeast perspective



12/9 DRC: West perspective



1/13 DRC and 1/28 BOZAR: Revised West perspective

- IV.** **Land Use Code Review:**
a. **(R1) Residential Zone District (Sec. 16-4-10 through 16-4-60)**

Dimensional Limitations	Required by Chapter 16	Proposed	Compliant
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Minimum Lot Width:	50'	50'	Yes
Maximum Lot Area:	9375 sf	6250 sf	Yes
Minimum Lot Area:	5000 sf	6250 sf	Yes
# Dwellings:		2	Yes
Minimum Setbacks:			
Principal: Front (South):	20'	20'	Yes
Principal: Side Yard (West):	7'6"-11'6"	7'6" (1 story elements) 15'4" (2 story elements)	Yes
Principal: Side Yard (East):	7'6"-11'6"	7'6" (1 story elements) 12'4" (2 story elements)	Yes
Principal: Rear Yard (North)	10' wall to wall	13'4"	Yes
Accessory Dwelling: Side Yard (West):	7'6"-11'6"	7'6"	Yes
Accessory Dwelling: Side Yard (East):	7'6"-11'6"	18'5"	Yes
Accessory Building: Rear Yard (North)	10' primary 5' accessory	5' (to deck) 9'7" (to wall)	Yes
Max FAR – Primary Building	0.3-0.4/2800 sf	0.396 (2476.8/6250 sf)	Yes
Max FAR – All Buildings:	0.5/3800 sf	0.496 (3098.7/6250 sf)	Yes
Height:	30' /20' / 24'	28'9 (primary) 23'11 1/2" (accessory)	Yes
Roof Pitch	Minimum 4:12	10:12 (principal, primary roofs) 10:12, 5:12 (principal, secondary roofs) 10:12 (ADU, primary roof) 10:12 (secondary roofs)	Yes
Width	35'-50'	33'5" (principal) 24'4" (ADU)	Yes
Snow Storage	>33%	58%	Yes
Open Space	50%	69%	Yes
Parking	3 spaces	3 spaces (1 interior, 2 exterior) However, EV ready parking will be required for each unit.	Yes

- b. Conditional use permit for the accessory dwelling (section 16-8-30):** The accessory dwelling unit use must have a long-term residential unit that must rented on the property. Please review the criteria to consider this use. This use is a conditional use in the R1 zone per code section 16-4-30 (1) when in conjunction with a one-family dwelling unit, which this is.

Code Section	Staff Analysis	DRC Recommendation
Sec. 16-4-30 (1) Accessory dwelling	The R1 zone provides this use as a conditional use. It must meet the below criteria.	Not applicable. Use changes do not go before DRC.



	This building currently has been revised and now meets the requirement of 400 sf for a residential unit.	
Sec. 16-8-30 (a) Architectural approval	Discussion regarding this is outlined below.	
Sec. 16-8-30 (b) (1) Compatible with neighborhood context and size	Discussion below, general support.	
Sec. 16-8-30 (b) (1) a. Size	The building meets FAR requirements.	
Sec. 16-8-30 (b) (1) b. Density of buildings	General support.	
Sec. 16-8-30 (b) (1) c. Amount of open space	Meets requirements of the zone district. General support.	
Sec. 16-8-30 (b) (1) d. Scale	See discussion below. General support.	
Sec. 16-8-30 (b) (1) e. Snow storage	Provided. General support.	
Sec. 16-8-30 (b) (1) f. Snow removal	Provided. General support.	
Sec. 16-8-30 (b) (1) g. Landscaping	Discussed further below. General support	
Sec. 16-8-30 (b) (1) h. Similar land uses	The R1 zone presents a variety of uses to which this could be included. General support.	
Sec. 16-8-30 (b) (2) Consistent with zoning district objectives and purposes	These provisions are now met.	
Sec. 16-8-30 (b) (3) Congestion, automotive, or pedestrian safety problems or other traffic hazards	Parking must be updated to meet requirements	
Sec. 16-8-30 (b) (4) Noise, dust, vapor, fumes, odor, smoke, vibration, glare, light, trash removal or waste disposal problems	General support.	
Sec. 16-8-30 (b) (5) Adverse effects to public facilities, rights of way or utilities	General support.	
Sec. 16-8-30 (b) (6) Adverse impacts on the uses of adjacent property	Pending any public comment. General support.	
Sec. 16-8-30 (b) (7) Adequate parking or PIL	Parking meets requirements. However, EV ready parking will be required for each unit.	
Sec. 16-8-30 (c) Net effect on any proposed use on the number of long-term housing units	There is a gain of one unit. General support.	

V. Design GL Analysis

R-1 Zone: The purpose for which this District is created is the provision of areas for low-density residential development along with customary accessory uses. Recreational and institutional uses customarily found in proximity to such residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

Today this area is a mix of occasional historic structures and newer buildings. The district is primarily composed of more recent buildings. During the 1980's and early 1990's much of the new residential construction was in scale with buildings seen traditionally in the area. The scale of residences increased as the Kapushion and Verzuh subdivisions were annexed into Town in the mid-1990's and 2000's. Many of the historic structures have additions and other alterations. Coal Creek flows through this area, breaking the



pattern of lots between Third and Fourth Streets. This provides a distinct identity to the development in this area.

The Town's design goals for this district are:

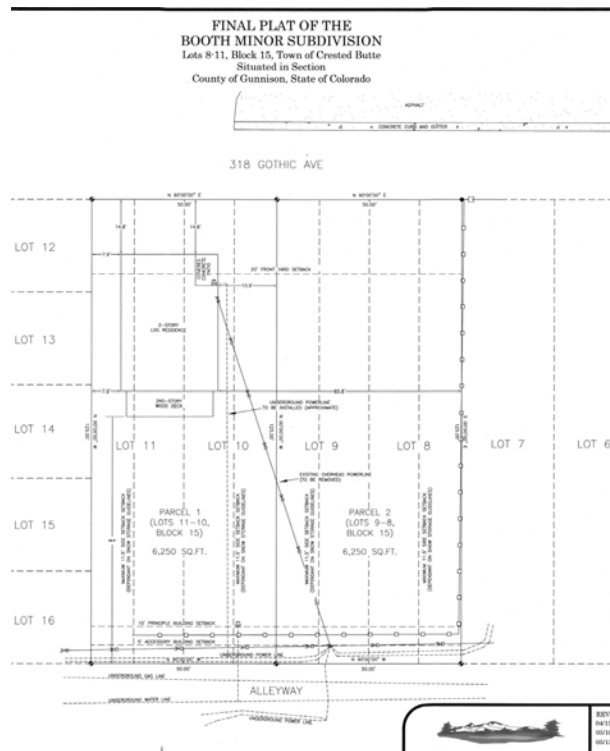
- To encourage appropriate infill and changes to existing structures that complement the character of the historic residential core areas.
- To maintain the size and scale of the R1 neighborhoods so they complement, rather than overwhelm or detract from, historic structures.
- To maintain and encourage pedestrian size, scale, uses, and orientation.
To allow for greater flexibility in design compared with what is allowed in historic areas.

a. **Site planning:** Refer to GL: 2.16-2.40, 3.1-3.2, 5.108-5.112.

GL	Staff Analysis	DRC Recommendation
Topography	Topography has been provided. This lot slopes up from north to south from 8892' to 8893'. Grade for the purposes of measuring FAR would be 8892' for the primary building and 8893' for the ADU. Grade is not averaged for this lot. This has been updated on the elevations.	
2.8 Drainage	Drainage has now been noted on the site plan. It shows drainage to the north and south.	Provide information on the site plan
Easements	NA	NA
2.16 Substantial landscaping	The plan is fairly minimal. Provision of a final landscape plan will be required for review and approval prior after permitting prior to a CO, if changes are proposed.	
2.19 New trees	There is one blue spruce noted for the north (front). An additional tree must be added to meet this provision. There is a cluster of proposed aspen trees on the southwest corner of the building.	Provide information on site plan
2.16 a./ 2.20 Native plantings	Disturbed areas are now called out to be revegetated with native grasses and wildflowers.	Support
2.16 e Pervious materials 2.28 e & f Parking substrate	There is a walkway noted on the north side of the proposed home (130 sf), which is pervious pavers. There is a back entry patio, pervious pavers, below the second-floor deck on the south (596 sf) . There is a parking area and drive on the south (371.61 sf + 58.54 sf) in gravel.	Support
(2.37-2.40)/ 16-17-40 Exterior Lighting	Lighting has been identified on the exterior for both buildings and appears to comply with GL and code for night sky.	Support
Solar	There are panels noted on the east elevation of the ADU, which appears compliant with the GL. Additional solar requirements apply to the primary building to comply with the Colorado Model Electric Ready and Solar Ready Code. Applicants mentioned this would likely be added on the south.	Support



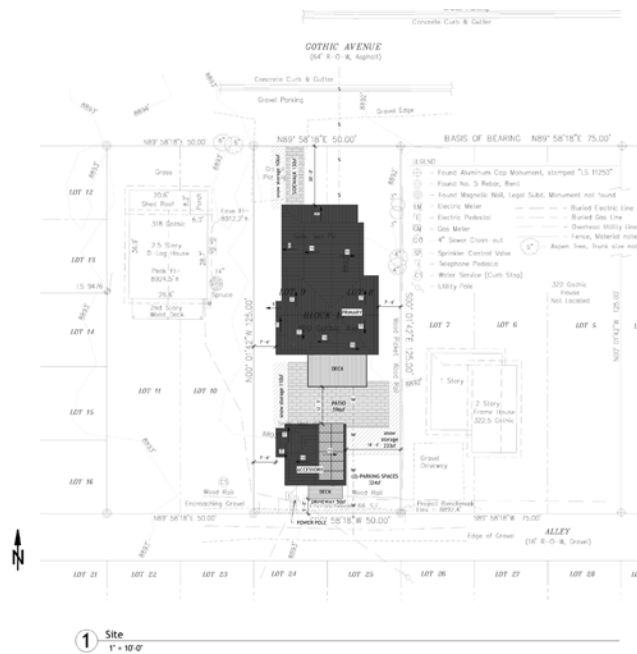
Utilities	Utility lines have been shown for wet and dry utilities. Additional information was added regarding the connections with the ADU. Adjacent rights of way have been included to-scale.	Support
2.7 Snow Storage	Snow storage is provided onsite and meets the 33% requirement of the areas to be plowed. These areas also correspond with areas to be plowed. Support.	Support



Minor subdivision plat



12/9 DRC: Site Plan

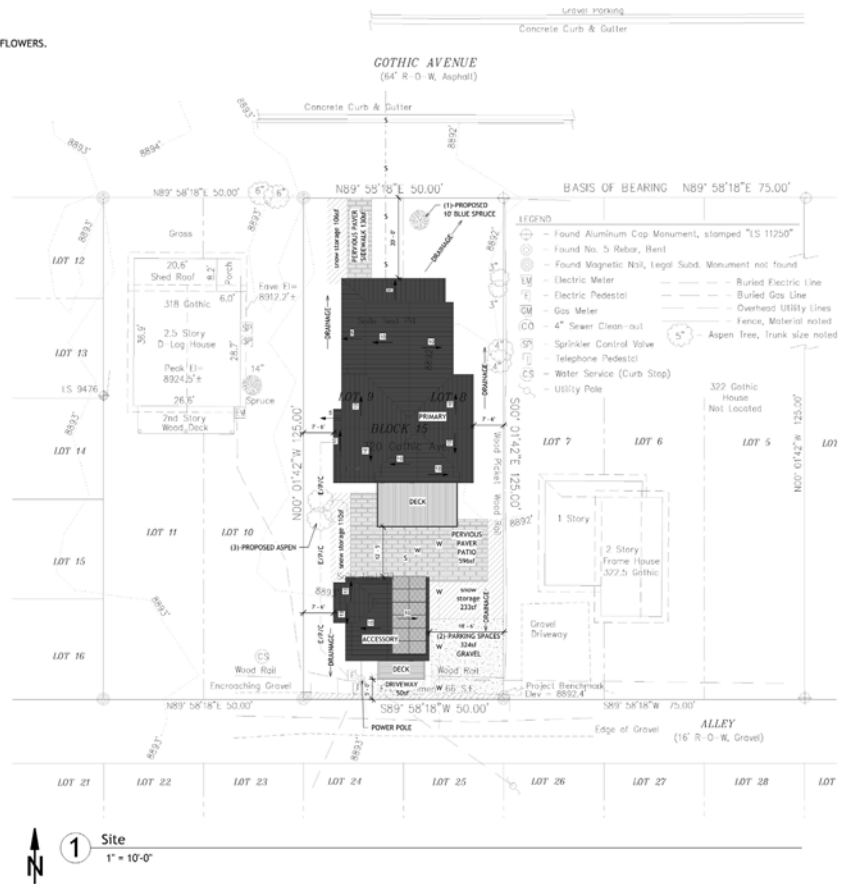


1/13 DRC: revised site plan



NOTES:

1. REVEGETATE ALL DISTURBED AREAS WITH NATIVE GRASSES AND WILDFLOWERS.
2. OIL & SAND SEPARATOR REQUIRED AT GARAGE DRAIN.



1/28/2025 BOZAR: revised site plan

b. Mass, scale and form: Refer to GL 4.29-4.31, 5.82-5.85

The proposed residence proposes the main ridge (33'8") oriented parallel with the street/alley steps down to a gable in the front (2'1") and there is a gable roof dormer in the rear which steps down 3" from the main ridge. There is a wraparound shed porch on the north and west. Determination of whether the height of the primary ridge (28'9") and 33'5" overall width is effective in minimizing the mass and scale of the building.

GL	Staff Analysis	DRC Recommendation
4.33-4.34	<p>Consideration of whether the forms achieve relationships with historic buildings are in GL 4.33 and 4.34. 3D drawings are helpful in determining this.</p> <p>As seen from the street, there are a variety of forms on this street. The streetscape of adjacent structure is of help to determine context.</p>	<p>12/9 DRC: Overall members supported the mass/scale/form of the proposed structure.</p> <p>However, there were concerns about the gable roof element, as proposed on the south. This has since been revised.</p> <p>1/13 DRC: 1/13 DRC: Members discussed the gable element on the rear. One member could support, as drawn. The other member encouraged a 6-8"</p>



	Discussion is encouraged regarding the revised dormer on the rear (south).	relief to show that the element was a module. No changes have been made.
4.34 Discernable primary module	The front module parallel to the street, encouraged to be the discernable primary module appears to be met per GL4.34.	Support





c. **Design and Style:** Refer to GL 4.35-4.40

GL	Staff Analysis	DRC Recommendation
4.35 Interpretation of historic styles	Discussion of whether overall building forms appear as a product of their own time while relating with historic forms seen in town is encouraged. Staff finds support.	Support
4.36-4.37 Contemporary interpretations	Discussion is encouraged as to whether the design of the home relates with the overall styles within the neighborhood or appears incongruent. Staff finds support.	Support

d. **Roof forms:** Refer to guidelines *4.41-4.45.

GL	Staff Analysis	DRC Recommendation
4.41	The gabled roof forms are symmetrical and appear consistent with the intents of 4.41.	Support
4.42 Shed roofs 4.43 Mixing roof styles	The use of the shed roof on the north and east seems consistent with this GL. General support.	Support



4.44 Ridge lines	The 33'8" ridge (including overhangs) parallel to the street/alley meets the intent of GL 4.44 a.	Support
4.45 Roof pitches	Roof forms of the primary modules employ 10:12 pitches, as allowed for in 4.45. Consider whether the lower pitch of the porch modules and shed appendages (5:12) are effective in providing acceptable variations or if they add complexity. Consult GL 4.45 and 4.35 (contemporary interpretation). Staff finds support.	Support

e. **Dormers:** Refer to GL 4.46-4.47.

GL	Staff Analysis	DRC Recommendation
4.46 Dormer on new construction	Per GL 4.46 a gable dormer is the traditional form, as proposed. Support. This GL asks for dormer styles to not be mixed on modules. There is only one proposed for this module.	1/13 DRC: Members discussed the gable element on the rear. One member could support, as drawn. The other member encouraged a 6-8" relief to show that the element was a module. No changes have been made.
4.47 A Subordination of dormers	a. The proposed dormer does step down from the main ridge but is a large feature. b. The proposed dormer is a gable. As proposed, it occupies 33.6% of the roof, which exceeds the 30% rule. c. The dormer does step down from the main ridge 3". A continuous section of roof has not been included. d. This is a gable dormer not a shed. e.NA	1/13 DRC: Members discussed the gable element on the rear. One member could support, as drawn. The other member encouraged a 6-8" relief to show that the element was a module. No changes have been made.

f. **Porches/Balconies:** Refer to guidelines *4.49-4.52

GL	Staff Analysis	DRC Recommendation
4.49 Covered porches	The entry porch on the South and West is a wrap-around shed/hip, which is a common entry porch detail. Support	Support
4.50 Mix of porch styles	The entry porch extends 6'x24'2" and 6'x14' and complies with the intents of GL 4.50 b encouraging a depth of four feet.	Support
4.51 Side and rear porches	The porches proposed on the south appear to comply with this GL.	Support
4.52 Second and third story decks	The second-floor deck on the rear appears consistent with the intents of GL 4.52.	Support



g. **Windows:** Refer to Guidelines 4.53-4.63.

GL	Staff Analysis	DRC Recommendation
4.53 Window to wall ratio	<p>Window to wall ratios along the front (south) elevation proposes 115.93 sf of glazing/639.3 sf wall space, which is 18.1 % window to wall. This is relational to other approvals.</p> <p>The first floor proposes a three pack, single window and door glazing (46.66 sf). There is a three pack, and a single window on the second floor (55.03 sf), which appears to conflict with the intents of 4.53 b.</p> <p>On the west elevation, there are two, two packs and three single windows on the first floor and four single windows and a two pack on the second floor. There is one window in the gable.</p> <p>On the east elevation, there are two, two packs and three single windows on the first floor. The second floor proposes one three pack and two, two packs. There is a single window in the gable.</p> <p>Window to wall ratios along the rear (south) elevation proposes 137.56 sf of glazing/670.62 sf wall space, which is 20.5 % window to wall. This is relational to other approvals.</p> <p>The south elevation proposes a two pack, three pack and door glazing on the first floor. There are two, two packs and door glazing on the second floor and a two pack of windows in the gable.</p>	<p>12/9 DRC: Members expressed some concern regarding the first floor to Second floor ratio of windows, as it was top heavy. The second floor windows were reduced by 6", which reduced the second floor sf slightly.</p> <p>1/13 DRC: Members supported, as proposed.</p>
4.54 Vertical emphasis	<p>Windows are proposed as two over two, double hung style casement windows, which is consistent with historic homes.</p> <p>The windows are proposed as casement and awning, which is supported by GL 4.54 a. Window operations have been noted on the plans. These windows must have simulated divided lights, which are noted on the plans and materials list. A window schedule would be helpful to confirm.</p> <p>A limited number of small square windows are allowed per GL 4.54 c and there are three windows in the on the</p>	Support



	south elevation. This meets the intents of this GL.	
4.56 Window material	Aluminum clad windows are noted. General support	Support
4.57 Fenestration pattern	It appears that there is 12" to corners.	Support
4.58 Groupings of 2 or more windows	All three packs of windows must have 3.5" of dividing trim because this is a new zone. These windows cannot be mulled. It appears that there is 4" of trim for those proposed on the south, north and east.	Support
4.58 c. Window sizes	The front elevation does not propose more than four window sizes, support. It appears that there are no more than six sizes on the south, east, and west.	Support
4.59 Window and door trim	Wood trim is noted (2"x4" wood). Trim surrounds appear consistent with the GL.	Support
4.60 Divided lights	Simulated divided lights are noted, which is compliant.	Support
4.61 Transom windows	NA	NA



h. **Doors:** Refer to GL 4.64-4.69.

GL	Staff Analysis	DRC Recommendation
4.64 Primary door	The primary door is proposed as ½ light wood (dark bronze). General Support.	Support
4.66 Secondary doors	There is one half-light door on the first floor of the south (wood, dark bronze), which all appear to meet the intents of GL 4.66.	Support



	There is a full light French door on the second floor south. This is metal clad (dark bronze), which also meets the intents of this GL.	
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i. **Lighting:** Refer to GL 2.37-2.40.

GL	Staff Analysis	DRC Recommendation
2.37 /4.74 Exterior lighting	Lighting has been noted by entries on the exterior and are consistent with the GL and code.	Support

j. **Materials:** Refer to GL 4.75-4.83.





Siding is proposed as a 6" wood lapped siding (beige) and vertical ship lapped siding at gable ends (natural brown). There is an 18" dry stacked stone (gray) foundation cover.

Roofing is proposed as a standing seam (dark bronze) for the primary building.

Trim is noted as 2"x4" wood (natural brown). There is a 2"x10" fascia (natural brown) and 2"x4" shadow board (natural brown). Corner boards will be a 2"x6" (natural brown).

The primary door is noted as a wood ½ light (dark bronze). There is one half light metal clad door on the south (dark bronze) and full light metal clad French door also on the south (dark bronze).

Windows are proposed as aluminum clad with casement and awning with simulated divided lights (dark bronze).

There are wood beams (natural brown) must confirm sizing with 3"x8" exposed rafter tails (natural brown). There are 8"x8" wood columns (natural brown). There is a wood truss at the north gable (natural brown), sizing must be confirmed.

The deck will be wood decking with 2"x4" wood top cap (natural brown), 8"x8" posts and steel spindles (dark bronze).

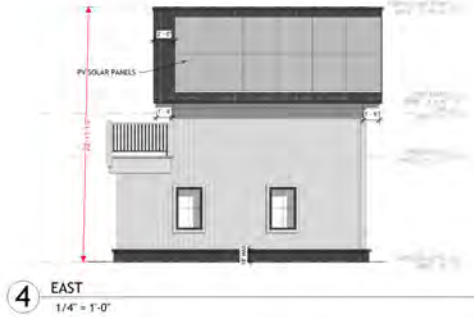
GL	Staff Analysis	DRC Recommendation
4.71 Chimneys	NA	NA
4.72 Eaves and overhangs	The proposed appears to meet the intents of this GL.	Support
4.75 Exterior materials	The proposed vertical and horizontal siding materials appear to meet the intents of this GL, as proposed.	Support
4.76 Siding materials	NA	NA



4.75 e /4.80 a foundation treatment	The stone is applied 18” or less and meets the intents of this GL specific to the foundation cover.	Support
4.81 Mix primary materials	There are two materials on the primary module, which again appears to conform with the intents of GL 4.75.	Support
4.82 Roofing	The standing seam roof is supported.	Support
4.83 Porch railing	The railings as noted appear to meet the intents of GL 4.83 d.	Support

k. **Accessory Dwelling:** Refer to GL 2.27-8, 4.84-4.86, 4.87-4.88, 4.90.





GL	Staff Analysis	DRC Recommendation
2.29/4.85/5.94 Placement	The building is set to the rear of the site. General support.	Support
2.30/ 4.84 Mass/scale/form	The building is relatively simple, as seen from the street. The forms are relational to historic styles, as encouraged by GL 2.28 and 4.84.	Support
2.30 b/4.89 Mass/scale/form	This building has a gabled ridge (10:12) running north/south with a gable pop out module (10:12) which is to the west. 3D drawings are helpful. The gable pop out module on the west helps to cover the condenser/air source heat pump on the first floor.	Support
4.89 e Fenestration	Fenestration appears fairly simple for this building. Understanding that this is an ADU, allows for additional fenestration. The solid to void ratio appears less than the main house as required by GL 4.88 b.	Support



	<p>The south elevation proposes garage door and person door fenestration and a small window in the gable.</p> <p>The west proposes a large window in the gable pop out module and a single window on the second floor.</p> <p>The north proposes a single window and door glazing on the first floor and a larger window on the second floor.</p> <p>The east proposes two single windows on the first floor.</p> <p>Windows are shown as two over two, double hung style windows. Support.</p> <p>Windows are shown as casement for egress and awning with simulated divided lights. Casements must comply with 4.54 and have a divider mullion to emulate the double hung style window, which is shown. Support</p>	
Roof Forms	The 10:12 roof pitch is consistent with the existing roof pitch on the main house.	Support
Doors	<p>There is half light metal-clad person door on the rear (north) (dark bronze).</p> <p>The secondary door is shown as a full light metal clad (dark bronze) sliding door, which is not supported by 4.66.</p> <p>The garage door is proposed as a ¼ light door with a wood veneer (natural brown) and meets the intents of GL 4.90.</p>	<p>12/9 DRC: Members had concerns regarding the sliding door, which has been revised to a French door.</p> <p>1/13 DRC: Support for French door.</p>
4.89 d Porches	GL 4.89 d speaks to decks. This is located in the rear but will be visible from the south in the alley. Staff finds support, as proposed.	Support
4.89 h Exterior staircases	NA	NA

II. **Materials:** Refer to GL 4.75-4.83, 4.84-4.86 and 4.89-4.90.

The building will be clad with vertical 6” lapped siding (natural brown) and corrugated metal (dark bronze) for the 18” foundation cover. Trim for windows is a 2”x4” (natural brown). There will be a 2”x10” fascia with a 2”x4” shadow board (natural brown) and 2”x6” corner board (natural brown) corner trim.

The roofing will be standing seam (dark bronze).

Windows are proposed as casement with simulated divided light in aluminum clad (dark bronze).



Person doors are proposed as ½ light metal clad (dark bronze), full light metal clad sliding door (dark bronze and the garage door is proposed as a ¼ light door with a wood veneer (natural brown).

The deck proposes 2"x4" wood top cap (natural brown), 8"x8" posts (natural brown) and steel spindles.

GL	Staff Analysis	DRC Recommendation
4.88 g Simpler details	The proposal for this building appears to meet the GL with the siding and foundation cover. Staff finds compliance.	Support
4.83 Porch railing	The railings as noted appear to meet the intents of GL 4.83 d.	Support
4.90 Wood garage doors	General support.	Support

I. Overview of DRC findings:

- **Site plan: Overall support for the proposed site plan.**
- **Residence: Recommendation of support to the BOZAR regarding mass/scale/form.**
- **Residence: Recommendation of support to the BOZAR regarding architectural appropriateness of the residence. With full Board discussion regarding the following:**
 - **Gable module on the south**
- **ADU: Recommendation of support to the BOZAR regarding mass/scale/form.**
- **ADU: Recommendation of support to the BOZAR regarding architectural appropriateness.**
- **Residence/ADU: Recommendation of support to BOZAR regarding materials, as proposed.**

II. Proposed findings and motions:

1. Finding (Architectural Approval)

The Board finds that the application of **Agosto 2023 Management Trust** to site a new single-family residence and accessory dwelling to be located at 320 and 320 ½ Gothic Avenue, Parcel 2, Booth Minor Subdivision, Block 15 in the R1 zone **will not appear excessively similar nor dissimilar** or will appear excessively similar or dissimilar to residential structures within the surrounding neighborhood. The scale and forms of the home **is effective in incorporating** or is not effective in incorporating traditional forms seen within the surrounding R1 zone; and

(Accessory Dwelling)

The accessory dwelling appears subordinate in scale to the residence by reducing the overall mass on the site and conveys relationships with historic styles. The architectural design of the buildings can be **supported** or cannot be supported based upon the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.84-4.87 (location and massing/forms, scale), 4.88 and 4.90 (materials) and _____.



The architectural design and style of the residence can be **supported** or cannot be supported per the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.32-4.34 (mass/scale) and 4.35 (contemporary interpretation), 4.41-4.45 (roof form/scale), 4.49-4.52 (porches), 4.53-4.63 (windows), 4.64-4.66 (doors), 4.71-4.72, 4.75-4.76, 4.80, 4.82-4.83 (materials), with the following conditions:

- A profile will need to be shown of the final grades on the lot with foundation details for each building in relation to the alley and the adjacent right of way on the north pertaining to drainage.
- Final landscape plan should be provided to the building department for Chair review and sign off if changes are proposed during the construction phase.
- Requirements of the Colorado Model Electric Ready and Solar Ready code must be met prior to permitting, including EV ready parking space for each dwelling unit and solar ready for the primary building.
- An additional tree is required on the north (front) elevation, as per GL 2.19.

South gable feature (support): The South gable roof element **can be supported**, as drawn per the application of GL 4.25-4.26, 4.41 and 4.45.

South gable feature (denial): The South gable is seen as a dormer and therefore does not comply per the application of GL 4.26, 4.46 and 4.47.

If approved by the Board, the approval is valid for one year from the approval date with a request for extension of up to three years administratively through Staff.

Motion (Architectural appropriateness)

Motion to **approve** or deny the architectural appropriateness for the application of **Agosto 2023 Management Trust** to site a new single-family residence and accessory dwelling to be located at the aforementioned address in the R1 zone (with any changes specified_____) and based upon the findings, and per the plans and material list.

2. Finding (Accessory dwelling - Conditional use)

The Board finds that the conditional use permit for an accessory dwelling unit to be located at 320 ½ Gothic Avenue, Parcel 2, Booth Minor Subdivision, Block 15 in the R1 zone **can be supported** or is opposed based upon criteria contained in Code Section 16-8-30 (b), with the following conditions:

Provided this use is maintained as defined in code section 16-1-20 of the Crested Butte Municipal Code thereby requiring that a long-term rental unit as defined in Code Section 16-1-20 must be maintained-on the property. This approval results in the granting of a vested property right.

Motion (Accessory dwelling - Conditional use):

Motion to **approve** or deny the conditional use permit to construct an accessory dwelling located at the aforementioned address in the R1 zone, based upon the finding and per the plans.



Overview 1/13/2025 DRC

Roxana Alvarez Marti and Halley Anderson

1. (Agosto 320 and 320 ½ Gothic): Chris Penfield and Andrew Hadley submitted plans on behalf of the Agosto's for a new single-family residence and ADU to be located at 320 Gothic Avenue within the R1 zone. A streetscape has been provided to better help determine this proposed structure's relationship as compared to the existing neighborhood. The gable roof element on the rear of the primary building is a large feature and modifications were made to lower the subordinate roof and to break up the dominant roof overhang. Discussion is encouraged. The FAR for the primary and all buildings now meet requirements. The height of the ADU now meets requirements. Parking requirements have been met. Otherwise, zoning requirements have been met. The new ADU will have a conditional use permit and will be required to meet the definitions within Section 16-1-20 which will be discussed at the full Board meeting. The topography for purposes of measuring FAR for the primary would be 8892' and ADU would be 8893'. The following information is required on the plans: drainage, trees – new and any removed, ground cover for disturbed areas, materials for walkways, parking and entry patio. Roof forms are compliant. Porches and decks are compliant. Window to wall ratio on the north is 18.06%, which is relational to other applications. However, the first floor is 46.66 sf and the second floor is 55.03 sf and appears to conflict with GL 4.53. The upper windows were reduced by 6". Otherwise fenestration, as proposed appears compliant. Doors and lighting appear compliant. Materials appear compliant. Overall the primary building was supported, with discussion needed regarding the south gable feature. Overall the ADU was supported with the revision of the sliding door which was provided to be a French door.

A cooking range will be added to the ADU.

Parking will be gravel/road base. The walkway and patio will be permeable pavers.

Existing trees are to remain.

The site will be revegetated with native grasses.

Members supported the first floor/second floor fenestration.

Alvarez Marti could support the gable feature on the south. Anderson suggested shifting back 6-8" to make gable module instead of dormer.

ADU supported. A new door was added on north to comply with Astrid's requirements. Materials were supported. Exterior lighting will be added.

Overview 12/9/2024 DRC

Schmidt and Staab

1. (Agosto 320 and 320 ½ Gothic): Chris Penfield and Andrew Hadley submitted plans on behalf of the Agosto's for a new single family residence and ADU to be located at 320 Gothic Avenue within the R1 zone. A streetscape has been provided to better help determine this proposed structure's relationship as compared to the existing neighborhood. The gable roof element on the rear of the primary building is a large feature. Discussion is encouraged. The FAR for the primary and all buildings are over the maximum. The height of the ADU is 1" too tall. Three parking spaces are provided, but one additional space is required. The applicants are aware of these violations and may have plan revisions for you today. Otherwise, zoning requirements have been met. The new ADU will have a conditional use permit and will be required to meet the definitions within Section 16-1-20 which will be discussed at the full Board meeting. The topography for purposes of measuring FAR for the primary would be 8892' and ADU would be 8893', which differs slightly from what is shown on the plans. The following information is required on the plans: drainage, trees – new and any removed, ground cover for disturbed areas, materials for walkways, parking and entry patio. Roof forms are compliant. Porches and decks are compliant. Window to wall ratio on the north is 18.06%, which is relational to other applications. However, the first floor is 46.66 sf and the second floor is 58.03 sf and appears to conflict with GL 4.53. Otherwise fenestration, as proposed appears compliant. Doors and lighting appear compliant. Materials appear compliant. The ADU is located in the rear of the site and is varied for the few accessory buildings in this area. Roof forms, decks and fenestration appear compliant. The sliding door does not comply with GL 4.66 and must be revised.
Applicant Presentation: Applicant noted that they will remove an internal door so that the media room is not miscalculated as a bedroom in order to meet the parking requirements.
Board Questions: Schmidt asked where the snow storage is; applicant confirmed a multiple locations. Schmidt asked about the springing of the roofline; the applicant agreed to lower that feature 6 inches. There was discussion about the dormer and whether or not it should be removed. Schmidt asked about the gable can be simplified, perhaps by removing the roof area below the gable.

DATE	FEES PAID	APPLICANT	APPLICATION #
------	-----------	-----------	---------------



DEVELOPMENT PERMIT APPLICATION

Town of Crested Butte Building Department
PO Box 39 Crested Butte, Colorado 81224
(970) 349-5338

*Return this completed application to the Building Department with all necessary documents as identified in the Building Permit Application Requirements form.

PROJECT PHYSICAL ADDRESS 320 Gothic Ave Crested Butte, CO 81224	LEGAL ADDRESS Parcel 2, Booth Minor Subdivision	ZONE R1	USE TYPE Residence
--	--	------------	-----------------------

APPLICANT/AGENT Andrew Hadley	MAILING ADDRESS PO Box 1249 Crested Butte, CO 81224	TELEPHONE 970-349-0806	EMAIL andrew@andrewhadleyarchitect.com
PROPERTY OWNER Agosto 2023 Management Trust	MAILING ADDRESS 13806 Pebblebrook Dr Houston, TX 77079	TELEPHONE 713-927-5794	EMAIL gillyandy@comcast.net
CONTRACTOR Jason Kidd	MAILING ADDRESS PO Box 3331 Crested Butte, CO 81224	TELEPHONE 970-596-9772	EMAIL jason@hargrovekidd.com
ARCHITECT Andrew Hadley	MAILING ADDRESS PO Box 1249 Crested Butte, CO 81224	TELEPHONE 970-349-0806	EMAIL andrew@andrewhadleyarchitect.com
ENGINEER Dylan Brown	MAILING ADDRESS 60 Gillaspey Ave Unit 2 Crested Butte, CO 81224	TELEPHONE 406-396-2295	EMAIL dylan@kandbstructural.com

BUILDING CLASSIFICATION:

SFR ☒ DUPLEX ☐ MULTIFAMILY ☐ COMMERCIAL ☐ ACC.DWELLING ☒ ACC.BUILDING ☐ HISTORIC ☐

PROJECT TYPE:

NEW CONSTRUCTION ☒ ADDITION ☐ REMODEL ☐ PLUMBING/MECHANICAL ☐ OTHER ☐

PROJECT DESCRIPTION Construction of a 4 bedroom 3 1/2 bathroom single family residence with an accessory dwelling.	ESTIMATED PROJECT VALUATION MATERIALS \$2,040,000.00 LABOR \$1,360,000.00 TOTAL \$ 3,400,000.00
---	--

DEPARTMENTAL USE ONLY

SPECIAL CONSIDERATIONS: CONDITIONAL USE PERMIT <input type="checkbox"/> _____ CONDITIONAL WAIVER <input type="checkbox"/> _____ VARIANCE <input type="checkbox"/> _____ PUD <input type="checkbox"/> _____	SETBACKS FRONT REAR SIDE() SIDE() Existing Primary Accessory Proposed Primary Accessory
--	--

EXISTING BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL	PROPOSED BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL	
EXISTING FAR	PROPOSED FAR	REQUIRED SUBMITTAL DOCUMENTS Limited Power of Attorney <input type="checkbox"/> Recorded Conveyance Deed <input type="checkbox"/> Materials Lists <input type="checkbox"/> Plans (Full-Size & 11"x17") <input type="checkbox"/> Publication Fee Fee _____ <input type="checkbox"/>
BUILDING WIDTH	BUILDING HEIGHT	
PARKING SPACES	% OPEN SPACE	
# OF LIVING UNITS	ZONE	
EXISTING EQR'S	PROPOSED EQR'S	

This Building Permit shall become null and void if construction is not commenced within 60 days of the date of issuance. The Building Permit shall expire one year after the date of issuance and all construction must be completed prior to the expiration of the permit; provided, however, that the building inspector may renew the Building Permit for additional six month periods FOR GOOD CAUSE SHOWN and without additional cost to the applicant.

I hereby certify that all the information provided in this application is true and correct. I understand that submittal of this application does not constitute a right to perform the work or establish the use requested. I understand that the request may be denied, approved or approved with changes or conditions. Fees that are associated with the application are not refundable. I understand that the application, if approved, must be constructed in accordance with the approved plans and conform with the Town's architectural approval and applicable building codes. I understand that any approval will become null and void 180 days after the approval date if a permit is not purchased, or three years if a vested property right is purchased.

Andrew Hadley Digitally signed by Andrew Hadley
Date: 2024.11.21 11:17:15 -07'00'

Signature of Contractor/Authorized Agent

Date

Signature of Owner/Authorized Agent

Date

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME Andrew and Kathleen Agosto

LEGAL Parcel 2, Booth Minor Subdivision ZONE R1

ADDRESS 320 Gothic Ave Crested Butte, CO 81224

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|--|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated
Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> 5-V Crimp |
| <input type="checkbox"/> Other <u>dark bronze</u> | | |

EXTERIOR FINISH

Siding

- | | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|-------------------------------------|-------------|---|-----------------|--------------|
| <input checked="" type="checkbox"/> | Horizontal | <u>6" wood lap siding Beige</u> | | |
| <input checked="" type="checkbox"/> | Vertical | <u>shiplap siding at gable ends natural brown</u> | | |
| <input checked="" type="checkbox"/> | Other | <u>Dry stack stone wainscotting grey</u> | | |
| <input type="checkbox"/> | Stucco | <u></u> | | |
| <input checked="" type="checkbox"/> | Trim | <u>2 X 4 natural brown and beige</u> | | |

☒ Fascia 2 X 10 wood natural brown with 2 X 4 shadow board natural brown

☒ Corner Boards 2 X 6 Natural Brown and beige

DOORS

MATERIAL

STYLE

FINISH

Primary door Wood, Half lite, Dark Bronze

Secondary door Metal clad, half lite, dark bronze

Full light French doors, dark bronze (second floor)

WINDOWS

Type:

☒ Casement

☒ Casement, egress

☐ Double hung

☒ Awning

☐ Fixed

☐ Slide-by

Style:

☒ Simulated,
divided lite

☐ True, divided
lite (historic)

☐ Decorative
mullions

☐ Other

Material:

☐ Wood

☒ Aluminum
clad, wood

☐ Other

Glazing:

☒ Low E

☐ Heat mirror

☒ Tempered

☐ Standard

Other

Describe locations if a mix is used dark bronze

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Wood truss at North gable natural brown

3 X 8 exposed rafter tails natural brown

8 X 8 wood columns natural brown

2 X 4 wood top cap natural brown

8 X 8 balusters natural brown

Steel spindles dark bronze

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE AndrewHadley

DATE Andrew Hadley

Digitally signed by Andrew Hadley
DN: cn=Andrew Hadley, o=BOZAR, c=US

ACCESSORY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME Andrew and Kathleen Agosto

LEGAL Parcel 2, Booth Minor Subdivision ZONE R1

ADDRESS 320 Gothic Ave Crested Butte, CO 81224

TYPE OF STRUCTURE

- ☐ Accessory Building, heated and/or plumbed ☐ Accessory Building, cold
- ☒ Accessory Dwelling ☐ Addition ☐ Historic Rehab
- ☐ Other _____

ROOFING TYPE

- ☐ Shake Shingle ☐ Pro Panel style ☒ Galvanized, Corrugated Metal
- ☐ Milled Shingle ☐ Standing Seam ☐ 5-V Crimp
- ☐ Other dark bronze

EXTERIOR FINISH

Siding

- | | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|-------------------------------------|-------------|-------------|------------------------------|---------------|
| <input type="checkbox"/> | Horizontal | | | |
| <input checked="" type="checkbox"/> | Vertical | 6" | wood shiplap siding | natural brown |
| <input checked="" type="checkbox"/> | Other | | Corrugated metal wainscoting | dark bronze |
| <input type="checkbox"/> | Stucco | | | |
| <input checked="" type="checkbox"/> | Trim | 2 X 4 | wood | natural brown |

☒ Fascia 2 X 10 wood natural brown with 2 X 4 shadow board natural brown

☒ Corner Boards 2 X 6 natural brown

DOORS

MATERIAL

STYLE

FINISH

Primary door metal clad, half lite, dark bronze

Secondary door metal clad slider, half lite, dark bronze
garage door with wood veneer

WINDOWS

Type:

- ☒ Casement
☒ Casement, egress
☐ Double hung
☐ Awning
☒ Fixed
☐ Slide-by

Style:

- ☒ Simulated, divided lite
☐ True, divided lite (historic)
☐ Decorative mullions
☐ Other

Material:

- ☐ Wood
☒ Aluminum clad, wood
☐ Other

Glazing:

- ☒ Low E
☐ Heat mirror
☒ Tempered
☐ Standard
☐ Other

Describe locations if a mix is used dark bronze

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

2 X 4 wood top cap natural brown

Steel Spindles dark bronze

8 X 8 wood balusters natural brown

Wood overhead garage door natural brown

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE Andrew Hadley

DATE Andrew Hadley
Digitally signed by Andrew Hadley
Date: 2024.11.27 11:28:43 -0700

FINAL PLAT OF THE
BOOTH MINOR SUBDIVISION
Lots 8-11, Block 15, Town of Crested Butte
Situated in Section
County of Gunnison, State of Colorado

LEGAL DESCRIPTIONS:

PARCEL 1:

Lots 10-11, Block 15, Town of Crested Butte

County of Gunnison,
State of Colorado.

PARCEL 2:

Lots 8-9, Block 15, Town of Crested Butte

County of Gunnison,
State of Colorado.

PARCEL INFORMATION:

The parcel containing Lots 8-11, Block 15, Town of Crested Butte (Parcel No. 325503109004) will be split into Parcel 1 (Lots 10-11), and Parcel 2 (Lots 8-9).

PLAT NOTES:

Due to snow cover at the time of this ILC (approximately 3 feet) some flat surfaces such as asphalt and gravel surfaces are unable to be shown.

Zoning for this property is R1 per the Official Crested Butte Zoning Map, November 1, 2021

Per the 1881 Town of Crested Butte Plat Map, lots are 125' by 25'.

SETBACK NOTES:

Per Sec. 16-4-40, of the Crested Butte, Colorado Municipal Code:

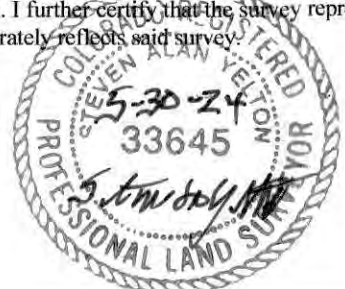
The following shall be lot measurements for property located in the "R1" District:

- (1) Minimum lot area: five thousand (5,000) square feet.
- (2) Maximum lot area: nine thousand three hundred seventy-five (9,375) square feet.
- (3) Minimum lot width: fifty (50) feet.
- (4) Minimum front yard: twenty (20) feet.
- (5) Minimum side yard: seven and one-half (7½) feet for single-story and flat-roofed buildings and as much as eleven and one-half (11½) feet for sloped-roofed buildings, dependent upon snow storage guidelines.
- (6) Minimum rear yard: a. Principal building: ten (10) feet. b. Accessory building: five (5) feet.

CERTIFICATE OF SURVEY:

I, Steven A. Yelton, a Registered Land Surveyor in the State of Colorado, do hereby certify that this plat accurately represents a survey made by me or under my direction and supervision. I further certify that the survey is represented by this plat was made under my responsible charge and that this plat accurately represents the survey.

Signature: *Steven A. Yelton* Date: 5-30-24
PLS No. 33645



GENERAL NOTES:

This survey was performed with the benefit of a title commitment from Land Title Guarantee Company, order number GUR88007116 dated 04/01/2024 and does not constitute a title search by Steven A. Yelton or Rocky Mountain Surveying.

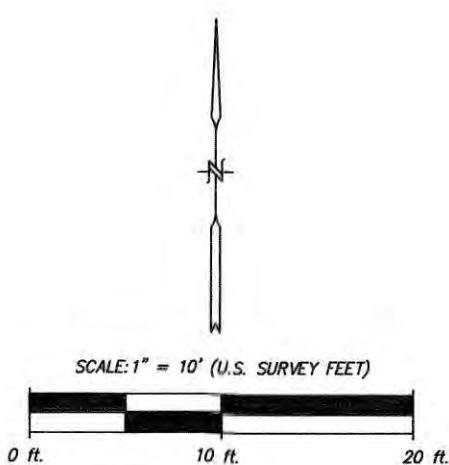
Surveyor's certifications herein shall run only to the person(s) for whom this survey was prepared and on his behalf to the agencies listed on this/these sheet(s). Surveyor's certifications are not transferable to additional institutions or subsequent owners.

No guarantee as to the accuracy of the information contained within this plat is either stated or implied unless this print bears an original signature and seal of the Professional Land Surveyor hereon named. Only prints of this survey marked with an original signature and seal of the Surveyor named hereon shall be considered true, valid copies.

NOTICE 13-80-105 C.R.S. as amended:
ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

LEGEND

- FOUND ALC PLS 11250
- SET 1.5" ALC PLS 33645
- WATER VALVE
- ELECTRIC METER
- POWER POLE

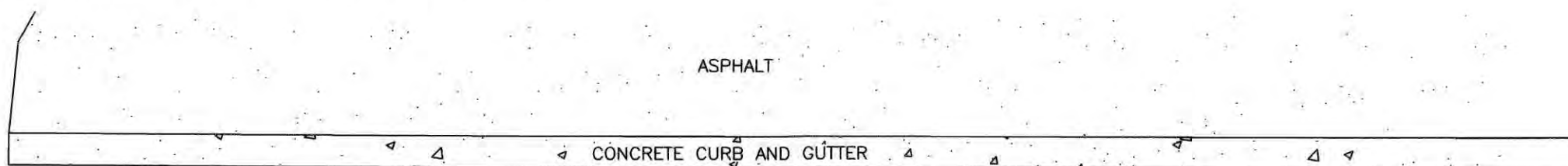


BASIS OF BEARING:

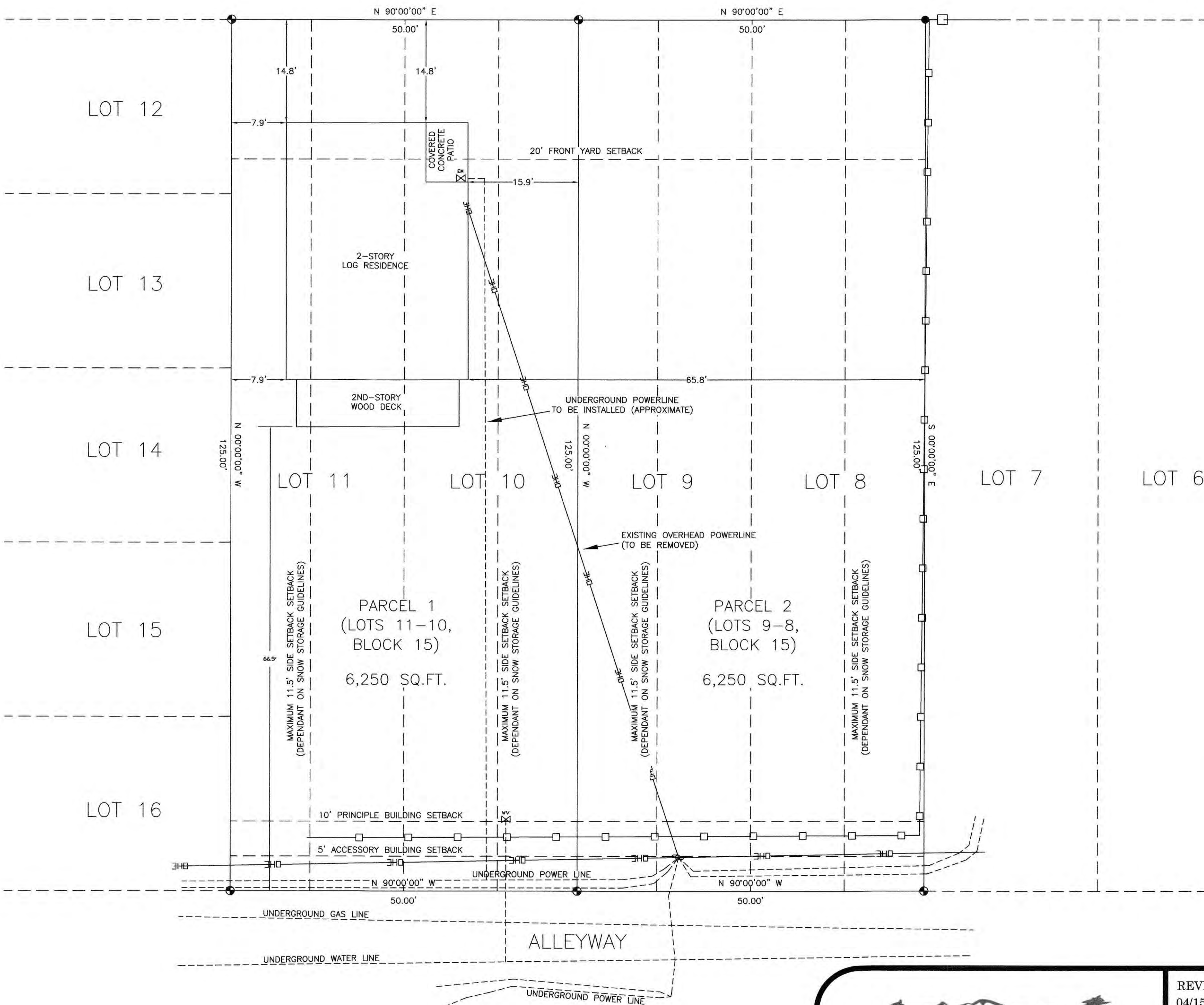
The East line of Lot 8 is assumed to bear S90°00'00"E and is monumented as shown hereon. Other found monuments on this block were also used to determine the bearing. All other bearings being relative thereto.

LINEAL UNITS STATEMENT:

Lineal units used on this plat are US Survey Feet



318 GOTHIC AVE



DEDICATION:

Know all people by these presents: That Peter W. Booth, being the owner of the land described as follows: Lots 8-11, Block 15 (0.287 acres) in the Town of Crested Butte, Colorado, under the name and style of BOOTH MINOR SUBDIVISION, has laid out, platted and subdivided the same as shown on the plat, and by these presents does/does hereby dedicate to the perpetual use of the Town of Crested Butte, State of Colorado, the streets, alleys, roads, easements and other public portions of land labeled as such. In witness whereof, the said Peter W. Booth has caused this to be hereunder subscribed this 24 day of June, 2024.

By: *Peter W. Booth*
Owner

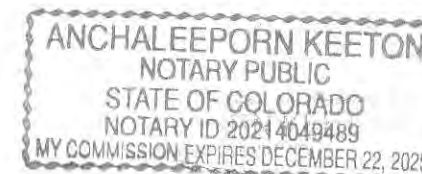
STATE OF COLORADO)
) ss.
COUNTY OF GUNNISON)

The foregoing instrument was acknowledged before me this 06 day of June, 2024, by Peter W. Booth.

WITNESS my hand and official seal. My commission expires Dec 22, 2025

Alvin Keeton
Notary Public

(SEAL)



TITLE COMPANY CERTIFICATE:

Land Title Guarantee Company, Title Company, does hereby certify that it has examined the title to all lands as shown hereon and title to such lands is in the dedicatory free and clear of all liens, taxes, and encumbrances, except as follows:

Dated this 06 day of June, 2024.

Agent: *Laigh Pantoja*

Laigh Pantoja
Vice President

TOWN STAFF:

The Town of Crested Butte, Colorado, does hereby authorize and approve the Final Plat for the above subdivision 10 day of June, 2024. This written plat of BOOTH MINOR SUBDIVISION is approved for filing.

TOWN OF CRESTED BUTTE

By: *Donna N. Smith*
Town Manager

ATTEST: *Kimberly D. Smith*
Town Clerk

(SEAL)

RECORDERS CERTIFICATE:

This plat was accepted for filing in the office of the Clerk and Recorder of Gunnison County, Colorado, on this 14 day of June, 2024. Reception number: 169146167 Time: 8:11 AM

Date: 06-11-2024

Jean M. Bare, Deputy
County Clerk



Professional Land Surveyor #33645

P.O. Box 2014

Montrose, CO 81402

Office: 970-964-6105

Email: roy@rockymountainsurveying.com

FILE: 24019

DATE: 05/13/2024

REVISIONS:
04/15/2024
05/10/2024
05/13/2024

FB: n/a

Closure:

Area:

FW: 01/30/2024
05/09/2024

2024 STEVEN YELTON PLS 33645. "Unauthorized use prohibited."

FINAL PLAT OF THE
BOOTH MINOR SUBDIVISION
Lots 8-11, Block 15, Town of Crested Butte
Situated in Section
County of Gunnison, State of Colorado

DRAFTING: RBH

FIELD: RBH

SHEET: 1 of 1

Sec. 16-8-30. - Criteria for decision.

- (a) No conditional use shall be approved unless architectural approval for any exterior change associated with such use has also been approved, and the Board finds that the use complies with all of the criteria contained in this Section. If the use does not comply with all of such criteria, or if architectural approval for the exterior changes associated with such use has not been obtained, the use shall either be approved with conditions that ensure compliance with all such criteria and the requirements of the Board for architectural approval, be continued to a date certain or be denied by a motion of the Board. If a continued request is not rescheduled by the proponent for discussion to occur on or before the date to which the request is continued, the request is deemed to be denied without further action by the Board.
- (b) The use must:
 - (1) Be compatible with the neighborhood context and size. When determining compatibility with the neighborhood, the Board shall consider at least the following:
 - a. Size.
 - b. Density of buildings.
 - c. Amount of open space.
 - d. Scale.
 - e. Snow storage.
 - f. Snow removal.
 - g. Landscaping.
 - h. Similar land uses.
 - (2) Be consistent with the objectives and purposes of this Chapter and the applicable zoning district.
 - (3) Not create congestion, automotive or pedestrian safety problems or other traffic hazards.
 - (4) Not create any significant noise, dust, vapor, fumes, odor, smoke, vibration, glare, light, trash removal or waste disposal problems.
 - (5) Not create significant adverse effects to public facilities, rights-of-way or utilities.
 - (6) Not create significant adverse impacts on the uses of adjacent property.
 - (7) Allow for adequate parking for the use or make payment in lieu if allowed in the zone district.
- (c) In addition, the net effect of any proposed use on the number of long-term housing units should be considered.

(Prior code 15-2-16; Ord. 13 §2, 1991; Ord. 13 §2, 2006; Ord. 4 §1, 2009)

Division 1 - "R1" Residential District

Sec. 16-4-10. - Intent of district.

The purpose for which this District is created is the provision of areas for low-density residential development along with customary accessory uses. Recreational and institutional uses customarily found in proximity to such residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

(Prior code 15-2-6; Ord. 3 §9, 1994)

Sec. 16-4-20. - Permitted uses.

The following uses shall be permitted uses in the "R1" District:

- (1) One-family dwelling units.
- (2) Accessory buildings, nonresidential use, not heated or plumbed.
- (3) Home occupations.
- (4) Private garages as accessory buildings to the principal permitted uses.

(Prior code 15-2-6; Ord. 3 §3, 1994; Ord. 10, 2000; Ord. 4 §1, 2009)

Sec. 16-4-30. - Conditional uses.

The following uses shall be permitted as conditional uses in the "R1" District:

- (1) Accessory dwellings.
- (2) Two-family dwelling units.
- (3) Public playgrounds and public recreation areas.
- (4) Churches and church schools.
- (5) Nonprofit libraries and museums.
- (6) Farm and garden buildings.
- (7) Public and private schools.
- (8) Shop crafts.
- (9) Bed and breakfast establishments, provided that the granting of such conditional use shall be subject to the requirements for short-term rentals in the "R1" District as set forth in Subsection 16-14-90(c) of this Chapter.
- (10) Parking areas.
- (11)

Accessory buildings, nonresidential use, heated.

(Prior code 15-2-6; Ord. 4 §3, 1990; Ord. 13 §6, 1991; Ord. 5 §2, 1993; Ord. 3 §3, 1994; Ord. 21 §1, 2004; Ord. 4 §1, 2009; Ord. No. 2, § 3(Exh. A), 3-6-2023)

Sec. 16-4-40. - Lot measurements.

The following shall be lot measurements for property located in the "R1" District:

- (1) Minimum lot area: five thousand (5,000) square feet.
- (2) Maximum lot area: nine thousand three hundred seventy-five (9,375) square feet.
- (3) Minimum lot width: fifty (50) feet.
- (4) Minimum front yard: twenty (20) feet.
- (5) Minimum side yard: seven and one-half (7½) feet for single-story and flat-roofed buildings and as much as eleven and one-half (11½) feet for sloped-roofed buildings, dependent upon snow storage guidelines.
- (6) Minimum rear yard:
 - a. Principal building: ten (10) feet.
 - b. Accessory building: five (5) feet.

(Prior code 15-2-6; Ord. 3 §9, 1994; Ord. 4 §1, 2009)

Sec. 16-4-50. - Floor areas.

The following shall be measurements for floor areas for property located in the "R1" District:

- (1) Minimum floor area: four hundred (400) square feet for each residential unit; provided, however, that the minimum floor area for an accessory structure built before July 1, 1942, which is being converted to a residential unit, historic accessory structure, shall be two hundred twenty (220) square feet, plus a closet, a bathroom and one hundred (100) additional square feet for each occupant in excess of two (2), only if the following conditions are met:
 - a. The residential unit must be an accessory dwelling used exclusively as a long-term rental unit;
 - b. The occupants of the dwelling must have been residents of the County for three (3) consecutive years of the preceding seven (7) years;
 - c. At least fifty-one percent (51%) of the occupants' income must be earned from work for an employer situated within the County or from work actually performed in the County; and
 - d. The above limitations for occupants and the limitation of the term of rental shall be recorded pursuant to Section 16-9-70 of this Chapter.
- (2) Maximum floor area:

- a. Accessory building, including an accessory dwelling, if any: one thousand (1,000) square feet or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.
- b. Accessory dwelling: one thousand (1,000) square feet of floor area or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.

(3) Maximum floor area ratio:

- a. Principal building: 0.3 as a matter of right, up to 0.4, depending on neighborhood context and lot size; provided that no principal building shall exceed two thousand eight hundred (2,800) square feet.
- b. All buildings: 0.5, provided that all buildings shall not be larger than three thousand eight hundred (3,800) square feet in the aggregate.

(Prior code 15-2-6; Ord. 4 §§4, 5, 1990; Ord. 4 §12, 1991; Ord. 16 §1, 1992; Ord. 11 §7, 1993; Ord. 3 §3, 1994; Ord. 4 §1, 2009)

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

(1) Maximum building height:

- a. Principal building: thirty (30) feet.
- b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
- c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.

(2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

(Prior code 15-2-6; Ord. 4 §5, 1990; Ord. 4 §16, 1991; Ord. 3 §32, 1994; Ord. 4 §1, 2009)

Sec. 16-4-70. - Additional provisions.

- (a) Open space required: Fifty percent (50%) of the lot area shall be open, unencumbered and free of any building or structure.
- (b) Minimum exterior wall height: seven (7) feet.
- (c) Minimum vertical distance from eave line of roof to the finished grade level: six (6) feet.
- (d) Slope of roof: a minimum of 4:12. A flat roof must contain a parapet on the side facing a street, and as otherwise required by the Board.
- (e)

Stream margin review: all uses within twenty (20) feet of a designated water course shall meet the requirements of Section 16-11-10 of this Chapter.

(Prior code 15-2-6; Ord. 4 §5, 1990; Ord. 4 §16, 1991; Ord. 3 §§10, 32, 1994; Ord. 4 §1, 2009)

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SITE PLAN

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PRIMARY ELEVATIONS

A1

ACCESSORY FP

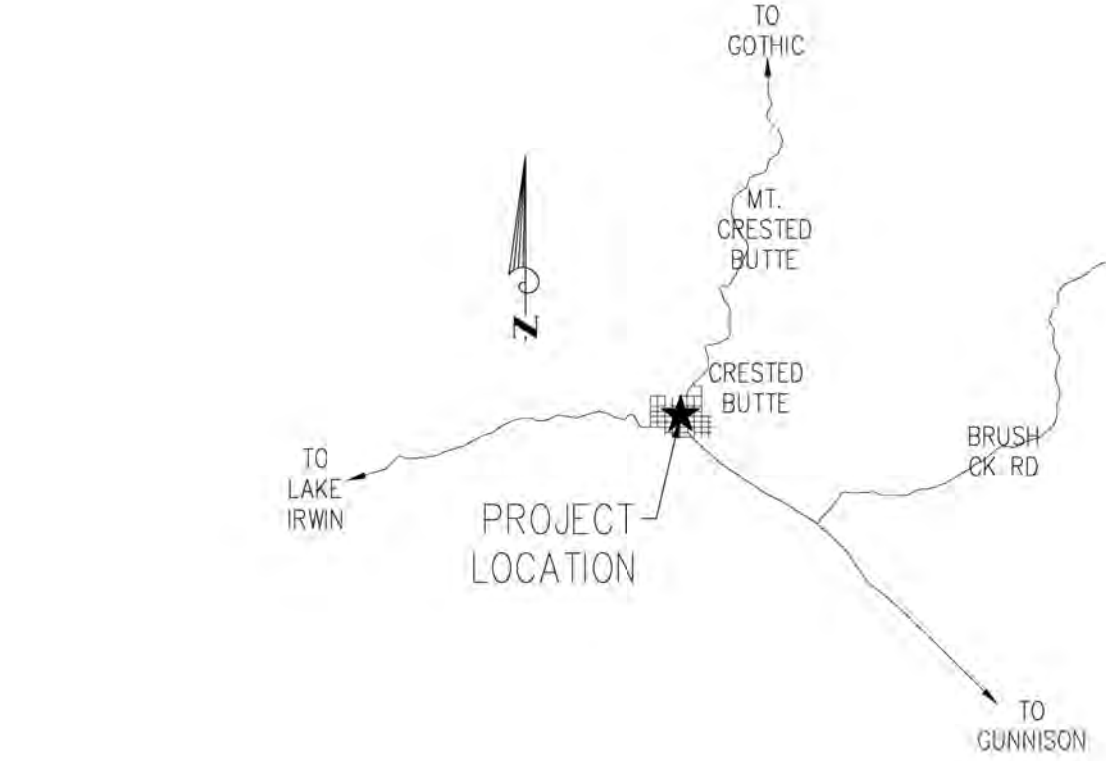
A2


ACCESSORY ELEVATIONS

P

SITE PERSPECTIVES

PROJECT LOCATION:





PROJECT TEAM:

OWNER:

ANDY AND GILLY AGOSTO

ARCHITECT:

ANDREW HADLEY ARCHITECT
P.O. BOX 1294, CRESTED BUTTE, CO 81224
T: (970) 349-0806

ENGINEER:

KRAMER & BROWN CONSULTING STRUCTURAL ENGINEERS
T: (406) 396-2295

CONTRACTOR:

HARGROVE & KIDD CONSTRUCTION
T: (970) 596-9772

AREA CALCULATIONS:

GENERAL NOTES:

1.

ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
ALL CODE REFERENCES HEREIN REFER TO THE FOLLOWING.
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2020 NATIONAL ELECTRICAL CODE (NEC)
2021 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)

2.

THE GENERAL CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL UTILITY CONNECTIONS, THEIR ROUTING, METER LOCATIONS AND OTHER ASSOCIATED ITEMS.

3.

UNLESS OTHERWISE NOTED, PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 6' AWAY FROM THE FOUNDATION.

4.

PRIOR TO CONSTRUCTION VERIFY IF A WHOLE HOUSE SPRINKLER SYSTEM IS REQUIRED.

5.

REVIEW SOILS REPORT PRIOR TO CONSTRUCTION AND FOLLOW ALL RECOMMENDATIONS. CONTACT SOILS ENGINEER FOR QUESTIONS.

6.

REFER ALL STRUCTURAL QUESTIONS TO (VERIFY STRUCTURAL ENGINEER).

7.

ALL WINDOWS TO BE DOUBLE PANE WITH A MAXIMUM U-FACTOR OF 0.32.

8.

ALL FRENCH DRAINS TO DRAIN TO DAYLIGHT UNLESS NOTED OTHERWISE.

9.

REFER TO TYPICAL WALL SECTION FOR ALL R-VALUES. ALSO REFER TO IECC FOR ANY ADDITIONAL U-VALUES OR DETAILS.

10.

CONTINUOUS HANDRAILS SHALL BE INSTALLED AT ALL STAIRWAYS WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL BE A MINIMUM 34" TO A MAXIMUM OF 38" ABOVE STAIR TREAD. HANDRAIL SHALL TERMINATE INTO A WALL OR POST.

11.

INSTALL A WHOLE HOUSE HEAT RECOVERY VENTILATION (HRV) SYSTEM.

12.

A PASSIVE RADON MITIGATION SYSTEM IS REQUIRED AND SHALL MEET APPENDIX F OF THE IRC. THE LOCATION OF A FUTURE RADON EXHAUST FAN MUST BE PROVIDED WITH AN ELECTRICAL OUTLET AND SPACE TO MAINTAIN OR REPLACE THE FAN IF REQUIRED. THE RADON EXHAUST FAN IS ONLY REQUIRED IF A TEST SHOWS ABOVE APPROVED EPA LEVELS.

13.

ALL GAS FIRE BOILERS, FURNACES, WATER HEATERS AND FIREPLACES MUST BE SEALED CONBUSTION, DIRECT VENT TYPE APPLIANCES OR AN APPLIANCE OTHERWISE APPROVED BY THE BUILDING OFFICIAL.

14.

EACH BATHROOM INCLUDING HALF BATHROOMS NEED TO HAVE A BATH FAN EXHAUSTED TO THE EXTERIOR OF THE BUILDING.

15.

ALL APPLIANCES MUST BE HIGH EFFCIENCY, DIRECT VENTED APPLIANCES.

16.

ALL GAS FIREPLACES SHALL BE EPA APPROVED FOR EMMISIONS. VERIFY ALL DIMENSIONS REQUIRED FROM FIREPLACE EXHAUST.

17.

75% OF ALL LIGHT FIXTURES SHALL HAVE HIGH EFFCIENCY LAMPING PROVIDED AT THE TIME THE CERTIFICATE OF OCCUPANCY IS ISSUED.

18.

ALL ELECTRICAL OUTLETS, LIGHT FIXTURES, SWITCHES, ETC. SHALL COMPLY WITH ADOPTED CODE, NEC AND AS AMENDED BY THE LOCAL CITY CODES.

19.

BUILDER AND OWNER ARE TO PERFORM A WALK-THRU PRIOR TO ELECTRICAL ROUGH IN TO VERIFY ALL SWITCH, LIGHT, OUTLET AND FIXTURE LOCATIONS.

20.

ALL ELECTRICAL OUTLET AND SWITCHES ON EXTERIOR WALLS SHALL HAVE FOAM GASKETS INSTALLED BEHIND THE OUTLET.

21.

A GFCI PROTECTED OUTLET MUST BE PROVIDED IN ALL BATHROOMS ADJACENT TO EACH BASIN LOCATION.

22.

SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY BACKUP.

23.

ALL RECESSED LIGHTING INSTALLED WITHIN AN INSULATED CEILING SHALL BE AIR TIGHT AND IC RATED.

24.

LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH ALL APPLICABLE ELECTRICAL CODES.

25.

OUTLETS IN THE FOLLOWING LOCATIONS ARE TO HAVE GFI PROTECTION: BATHROOMS, GARAGES, LAUDRY ROOMS OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, WET BAR SINKS AND ROOFTOPS.

26.

ALL APPLIANCES OTHER THAN RANGES SHALL BE ENREGY STAR RATED.

27.

A BLOWER DOOR TEST SHOWING A MAXIMUM AIR EXCHANGE RATE OF 2.5 PER HOUR SHALL BE PERFORMED ON THE BUILDING PRIOR TO OCCUPANCY.

28.

ALL HOT & COLD INTERIOR AND EXTERIOR WATER PIPES SHALL BE INSULATED TO R-3.

29.

ALL CRAWL SPACES SHALL BE MECHNICALLY VENTILATED.

30.

VENTING FOR RANGES OR COOKTOPS SHALL EXHAUST 400 CFM OR LESS OR MAKE UP AIR WILL BE PROVIDED TO ROOM PER IRC SECTION M1503.4.

31.

ALL PENETRATIONS THROUGH THE MECHANICAL ROOM WALLS AND CEILING MUST BE FIRE CAULKED.

32.

LOCAL AUTHORITIES SHALL APPROVE ALL METER LOCATIONS.

33.

OBTAIN APPROVAL FROM LOCAL FIRE AUTHORITIES FOR DRIVEWAY ACCESS, FIRE STAGING AREA AND STANDPIPE DESIGN PRIOR TO CONSTRUCTION.

34.

ALL DUCTS SHALL BE SEALED IN ACCORDANCE WITH THE 2015 IRC

35.

A GENERAL INTEREST IN PROVIDING FINISH MATERIALS WITH LOW OR NO VOC'S SHOULD BE UNDERTAKEN THOUGHOUT THE COURSE OF THE PROJECT. CONTACT ARCHITECT WITH ANY QUESTIONS.

36.

VERIFY ALL KITCHEN, BATHROOM DESIGN, AND INTERIOR FINISHES WITH INTERIOR DESIGNER.

C

Cover

01-15-2025

SCALE:

DRAWN BY: CP

PROJECT ADDRESS:

Lots 8 & 9
Block 15
CB, CO 81224

Agosto

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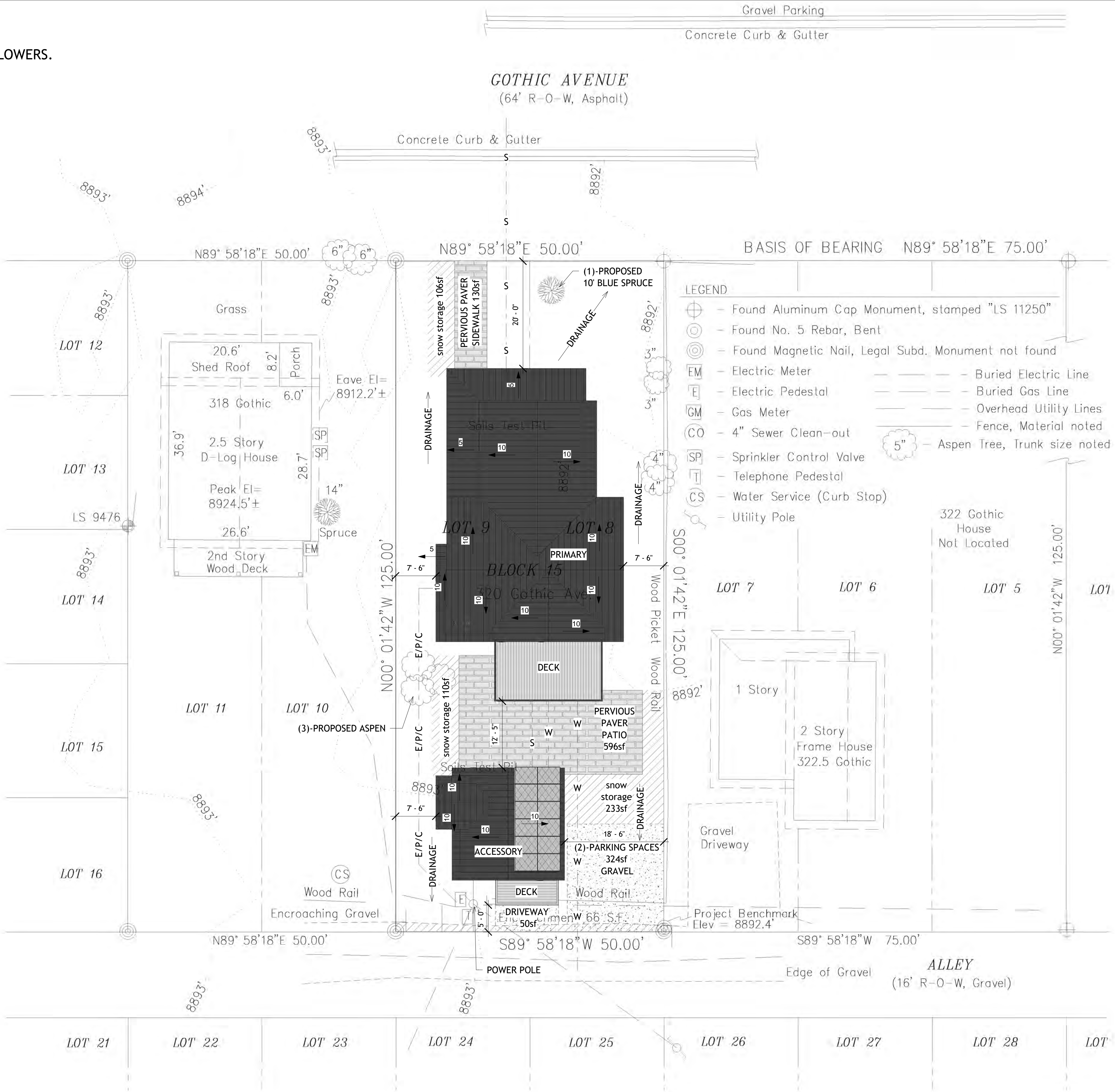
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NOT FOR CONSTRUCTION

ANDREW HADLEY ARCHITECT

POST OFFICE BOX 1294
CRESTED BUTTE, CO. 81224
(970) 349 - 0806

- NOTES:
- 1. REVEGETATE ALL DISTURBED AREAS WITH NATIVE GRASSES AND WILDFLOWERS.
 - 2. OIL & SAND SEPARATOR REQUIRED AT GARAGE DRAIN.



1 Site
1" = 10'-0"

1

SITE PLAN

01-15-2025

SCALE: 1" = 10'-0"

DRAWN BY: CP

PROJECT ADDRESS:

Lots 8 & 9
Block 15
CB, CO 81224

Agosto

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ANDREW HADLEY ARCHITECT
POST OFFICE BOX 1294
CRESTED BUTTE, CO.
81224

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POST OFFICE BOX 1294
CRESTED BUTTE, CO.
81224**1** ENTRY LEVEL
1/4" = 1'-0"

E
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1 UPPER LEVEL
1/4" = 1'-0"

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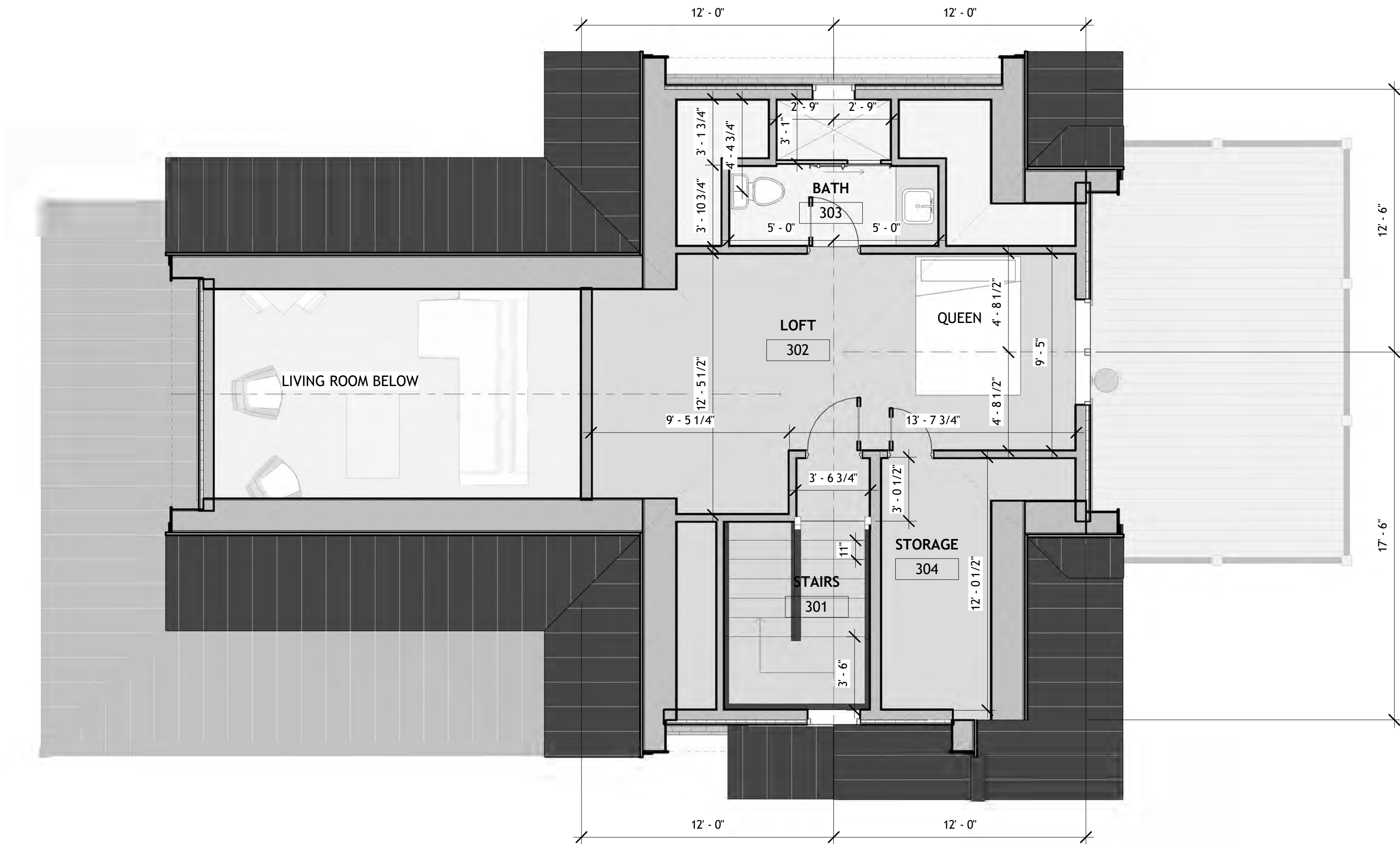
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POST OFFICE BOX 1294
CRESTED BUTTE, CO.
81224

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1 LOFT LEVEL
1/4" = 1'-0"

1

2

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4

LOFT LEVEL PLAN

01-15-2025

SCALE: 1/4" = 1'-0"

DRAWN BY: CP

PROJECT ADDRESS:

Lots 8 & 9

Block 15

CB, CO 81224

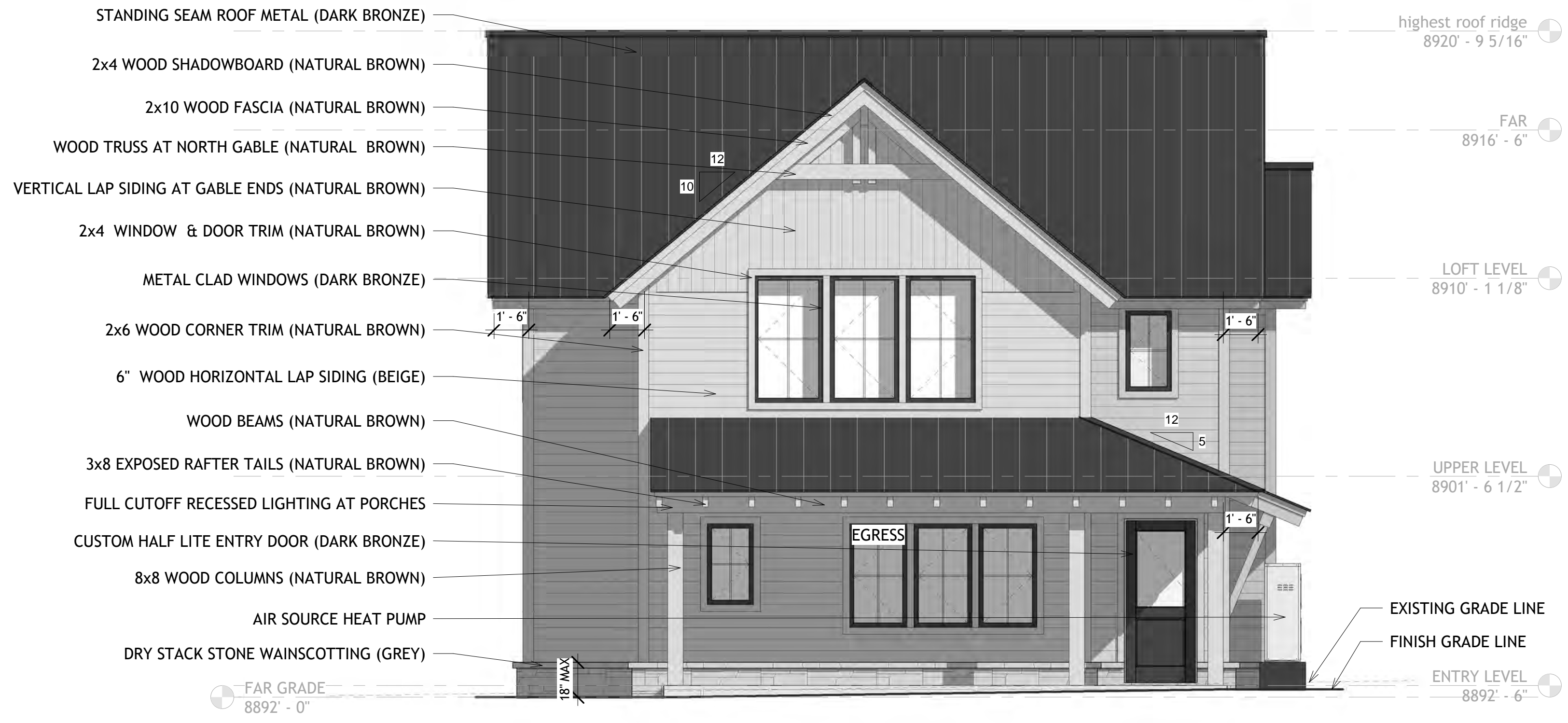
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CRESTED BUTTE, CO.
81224



1 North
1/4" = 1'-0"



2 East
1/4" = 1'-0"

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NOT FOR CONSTRUCTION

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1 South
1/4" = 1'-0"



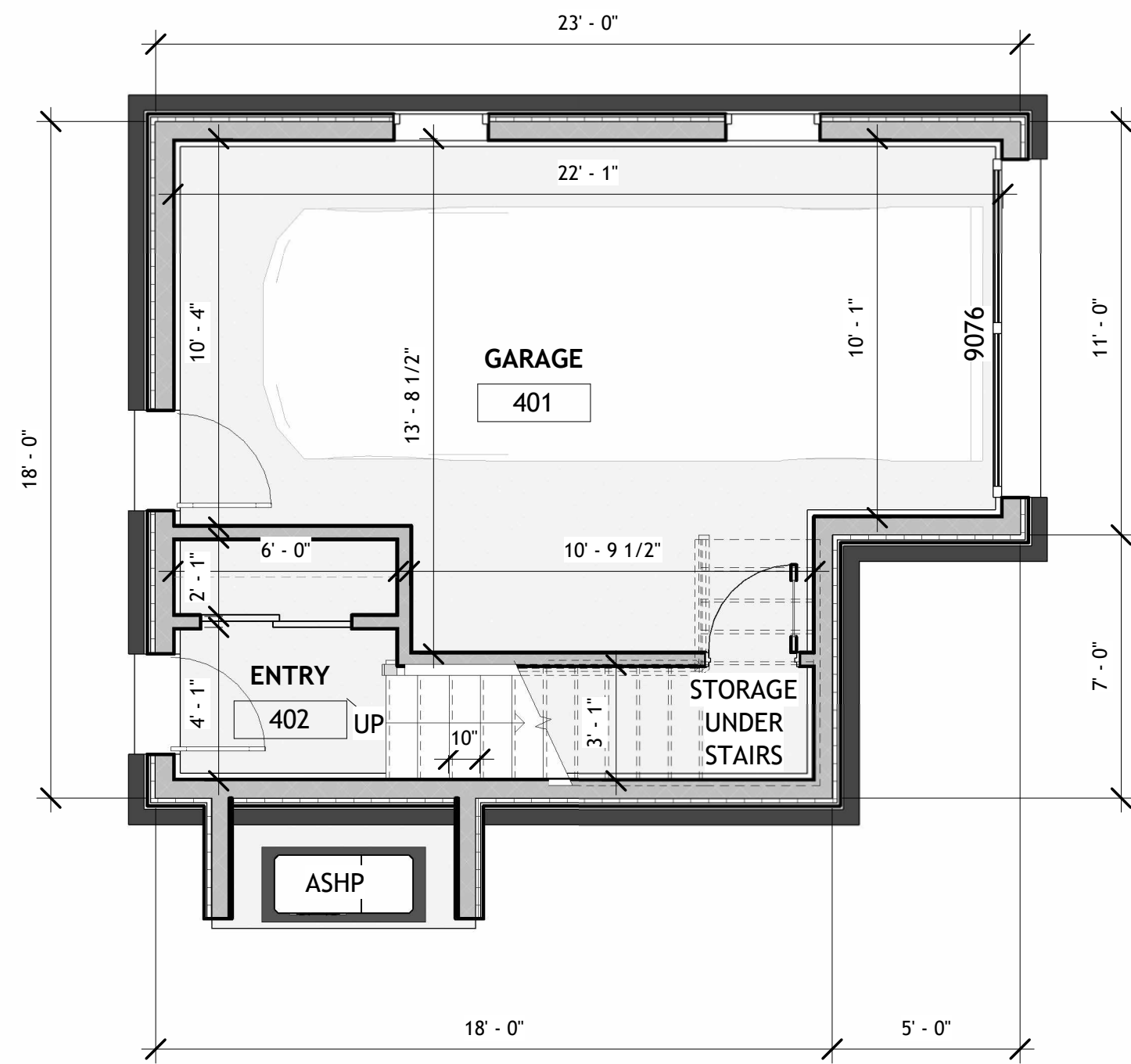
2 West
1/4" = 1'-0"

1 2 3 4 5 6

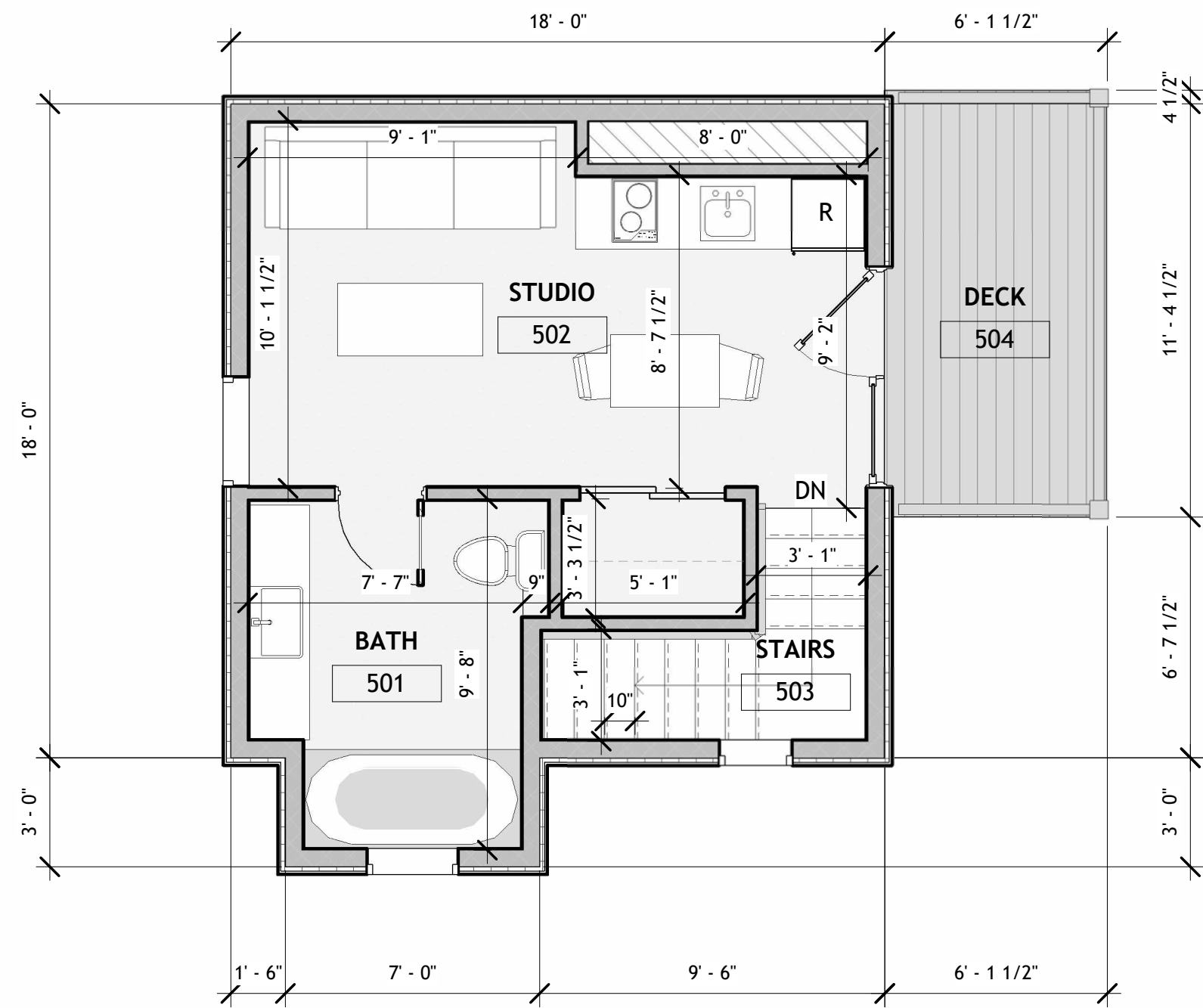
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1 GARAGE LEVEL
1/4" = 1'-0"



2 UPPER LEVEL
1/4" = 1'-0"



A1

ACCESSORY FLOOR PLANS

01-14-2025

SCALE: 1/4" = 1'-0"

DRAWN BY: CP

PROJECT ADDRESS:

320 1/2 Gothic Ave
Lots 8 7 9
Block 15
Crested Butte, CO 81224

Agosto

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ANDREW HADLEY ARCHITECT
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CRESTED BUTTE, CO.
81224
(970) 349 - 0806

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P

SITE PERSPECTIVES

01-15-2025

SCALE:

DRAWN BY: CP

PROJECT ADDRESS:

Lots 8 & 9

Block 15

CB, CO 81224

Agosto

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