



Staff Report

To: BOZAR
From: Jessie Earley, Town Planner III
Meeting Date: DRC, April 29, 2025
RE: 801/803 Red Lady Avenue (Ochs) Final Review

PROJECT TITLE: Ochs (801/803 Red Lady Avenue)

SUMMARY: Consideration of the application of **Margaret E. Ochs and David J. Ochs** to site an addition on the existing single-family residence and an addition to the existing accessory dwelling to be located at 801 and 803 Red Lady Avenue, Block 65, Lots 17 and 18 in the R1 zone.

- Architectural approval is required.

LEGAL DESCRIPTION: Lots 17 and 18, Block 65

ADDRESS: 801/803 Red Lady Avenue

ZONE DISTRICT: R1

OWNER: Margaret E. Ochs and David J. Ochs

APPLICANT: Margaret E. Ochs and David J. Ochs

DRC MEMBERS: Schmidt and Davol (3/17/2025);

STAFF MEMBER: Jessie Earley, Planner III

ATTACHMENTS:

1. Plans (existing and proposed)
2. GIS Map
3. Materials list
4. Photos
5. DRC Notes (3/17/2025)
6. Section 16-4-10 through 16-4-70 (R1 zone)

These packet materials are available at this [link](#). Staff can provide paper copies of the packet upon request.

PROJECT DESCRIPTION

1. Construct additions to the existing single-family residence:
 - a. Gable addition with shed pitch breaks on the east and west on the north
2. Construct additions to the existing ADU
 - a. Covered porch extension



PUBLIC NOTICE

This item was properly noticed per Section 16-22-110 (c). The affidavit of posting is on file in the Preservation Department.

I. Background/Overview: Margaret (Missy) and Dave Ochs submitted plans for additions to the existing single-family residence and ADU located at 801/803 Red Lady Avenue. The existing home is a gable roof, which runs perpendicular to Red Lady Avenue which has two gable dormers on the east and west elevations. The proposed extension on the primary building would be a small gable addition with shed pitch breaks on each side for a small, covered entry porch on the northeast corner. Then, the ADU would have a small, covered entry porch added on the south elevation.

II. Status: The Ochs' met with the DRC at the 3/17 meeting. Notes from this meeting are attached for more detailed information. The following revisions have been made since that meeting:

- SP1.1 Site Plan
 - Added G - grass/reseed with native grass mix
 - Greyed out for existing vs. proposed
 - Moved EM and GM together on N side under Roof.
 - Mud room window is a fixed window
 - Added Drainage Arrows towards the East.
 - Noted pavers as SAND SET PERMEABLE PAVERS
 - Added water and wastewater lines
- A 1.2-1.4 Floor Plans (Proposed)
 - Greyed out for existing vs. proposed

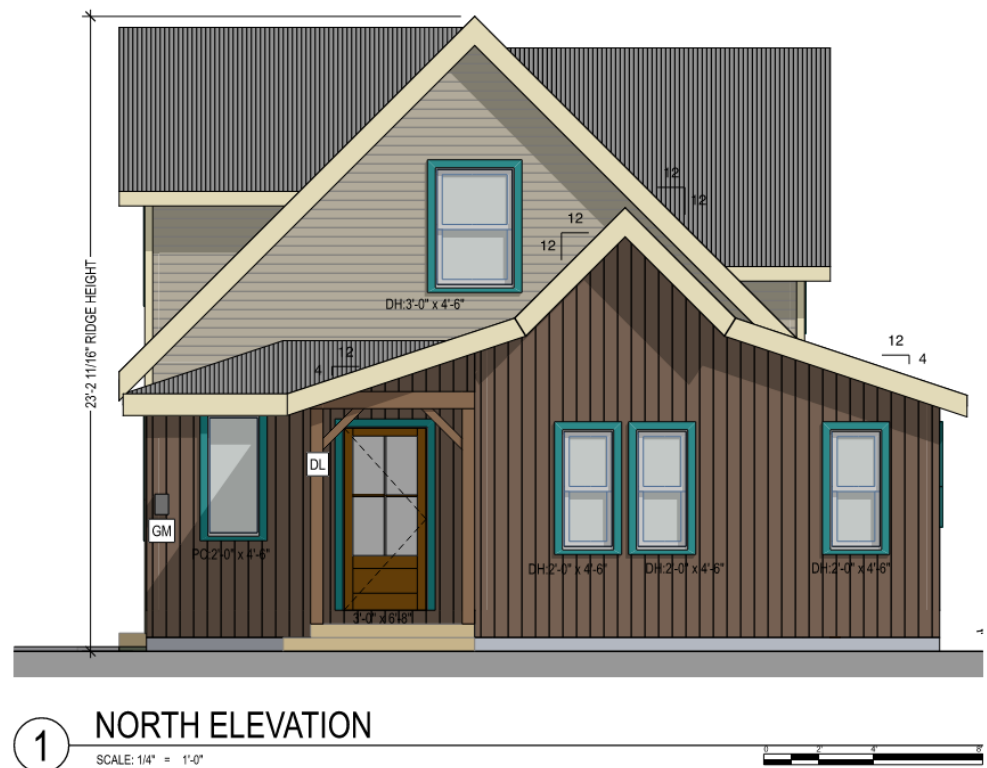


- Updated French door to inswing
- A 2.1 -2.3 Proposed Elevations
 - NOTED ON PLANS - ALL NEW TRIM TO MATCH EXISTING
 - All lighting to match existing, down casting light. Attached Photo.
 - Vertical siding to be medium brown wood plank, durable, sustainable, Class A fire rated 1x4 IPE wood siding.
 - Separated 3 windows by 3 inches-Divided light. Windows are same size as small square at base of stairs.
 - New posts to be medium brown 5 x 5.

III. Context: Refer to guidelines 4.25-4.26. This block is in the R1 zone facing the CBCS (P zone) to the south, R2 zone to the west across Eighth Street and R1E zone to the east across Ninth Street. This block is largely single-family residences built between 1979 and 2007. There are five ADU's on this block, including the existing ADU on this lot, and two accessory buildings. This is a simple gable building with a gable dormer on the east and west elevations.

Board members are asked to comment on whether the diversity in forms is achieved with the additions in relation to the neighborhood in a manner that will not appear excessively similar or dissimilar.

GL	Staff Analysis	DRC Recommendation
4.25 Excessive Similarity	The addition to this home does not create a concern regarding excessive similarity. Support.	Support
4.26 Excessive Dissimilarity	<p>The addition does not appear excessively dissimilar to structures of like use within the R1 zone. Discussion is encouraged though regarding the proposed pitch breaks for the addition. This is not a common detail for buildings within town.</p> <p>Discussion is needed regarding the three square windows, as they appear to conflict with GL 4.54 and 4.58.</p> <p>Discussion is needed regarding the proposed door on the east to ensure that this is not a sliding door, as that would conflict with GL 4.66 a.</p> <p>Discussion is needed regarding the materials as proposed to ensure that they meet the intents of GL 4.81.</p>	3/17 DRC: Members were concerned regarding the proposed pitch break on either side, as this is not a detail often seen in town. They suggested carrying this down to the ground. The applicant has provided a break in the fascia.



Proposed elevations



Existing photos (ADU)



Existing photos (primary building)

I. Land Use Code Review:

a. Residential Zone District (R1) (Sec. 16-4-10– 16-4-70)

Dimensional Limitations	Required by Chapter 16	Proposed	Compliant
Minimum Lot Width:	31 ¼'	50'	Yes
Maximum Lot Area:	9375	6250	Yes
Minimum Lot Area:	5000	6250	Yes
# Dwellings:		2	Yes
Minimum Setbacks:			
Principal: Front (south):	20'	22'11" (existing, no change)	Yes
Principal: Side Yard (east):	7'6"-11'6"	11'6" (existing) 17'10" (proposed)	Yes
Principal: Side Yard (west):	7'6"-11'6"	12'3" (existing) 8' (proposed one-story addition)	Yes



Principal: Rear:	10' (Principal) 5' (Accessory)	15'6" (between buildings, proposed)	Yes
Accessory: Side Yard (east):	7'6"-11'6"	8'11" (existing, no change)	Yes
Accessory: Side Yard (west)	7'6"-11'6"	14' (existing, no change)	Yes
Accessory: Rear (east)	10' (Principal) 5' (Accessory)	5'4" (existing, no change)	Yes
Max FAR - Primary:	0.3-0.4/2800 sf maximum	1290 sf (0.206) – existing 1830 sf (0.293) - proposed	Yes
Max FAR: All buildings:	0.5/ 3800 sf maximum	2054 sf (0.329) – existing 2831.6 sf (0.453) - proposed	Yes
Height:	30' /20' / 24'	23'2" (existing primary, no change) 22'11" (existing ADU, no change)	Yes
Roof Pitch	Minimum 4:12	12:12 (existing primary roof forms, gable dormers and new gable addition) 6:12 (existing porch roof) 4:12 (existing porch roofs, new shed pitch breaks) 12:12 ADU (existing primary roof) 4:12 (existing shed dormers and new shed porch roof)	Yes
Width	35'	29' (principal) 4' (ADU)	Yes
Snow Storage	>33%	118%	Yes
Open Space	50%	68.2%	Yes
Parking	3 spaces	3 spaces (2 interior, 1 exterior)	Yes

II. Design GL Analysis

R-1 Zone: The purpose for which this District is created is the provision of areas for low-density residential development along with customary accessory uses. Recreational and institutional uses customarily found in proximity to such residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

Today this area is a mix of occasional historic structures and newer buildings. The district is primarily composed of more recent buildings. During the 1980's and early 1990's much of the new residential construction was in scale with buildings seen traditionally in the area. The scale of residences increased as the Kapushion and Verzuh subdivisions were annexed into Town in the mid-1990's and 2000's. Many of the historic structures have additions and other alterations. Coal Creek flows through this area, breaking the pattern of lots between Third and Fourth Streets. This provides a distinct identity to the development in this area.

The Town's design goals for this district are:

- To encourage appropriate infill and changes to existing structures that complement the character of the historic residential core areas.
- To maintain the size and scale of the R1 neighborhoods so they complement, rather than overwhelm or detract from, historic structures.




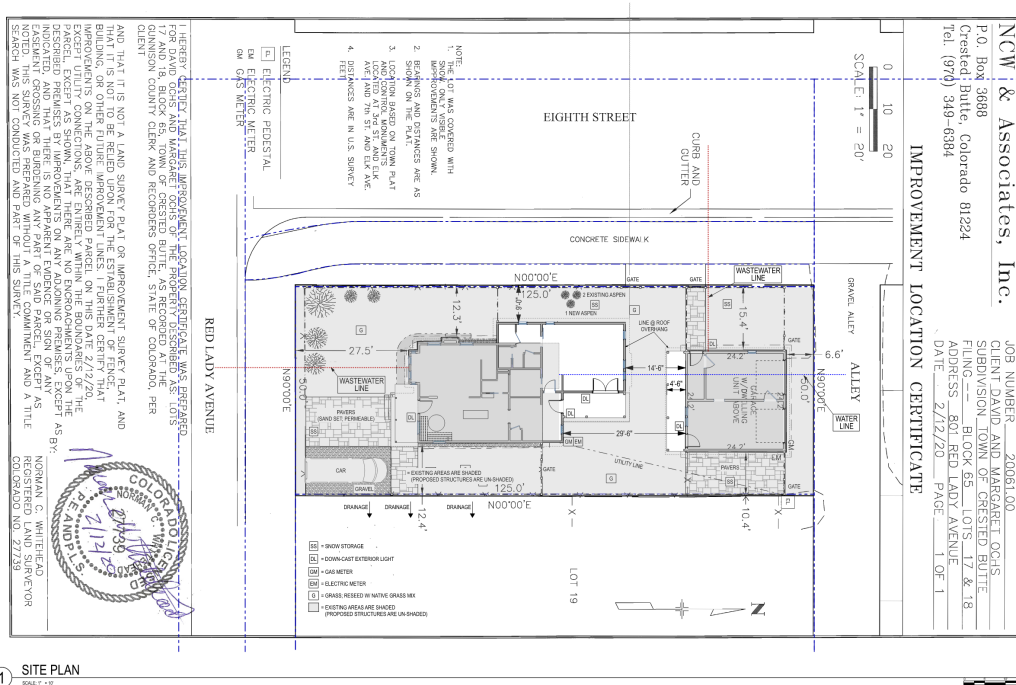
- To maintain and encourage pedestrian size, scale, uses, and orientation.
To allow for greater flexibility in design compared with what is allowed in historic areas.

a. **Site planning:** Refer to GL: 2.16-2.40, 3.1-3.2, 5.108-5.112.

GL	Staff Analysis	DRC Recommendation
Topography	Topography has not been included on the site plan. The home is already built, and the height will not change.	
2.8 Drainage	Drainage information has been provided. Drainage arrows have been shown and notes drainage to the east. A swale may be required, as drainage cannot be placed onto adjacent properties.	Add information to plans.
Easements	NA	NA
2.16 Substantial landscaping	Most landscaping is existing and will be maintained. Provision of a final landscape plan will be required for review and approval if revisions are proposed after permitting prior to a CO.	Support
2.18 Preservation of existing trees	The site plan notes preservation of all existing trees (five on the southwest corner, two aspens on the west, mid lot).	Support
2.19 New trees	There is one new aspen tree proposed for the west. Support.	Support
2.16 a./ 2.20 Native plantings	Ground cover is noted for disturbed areas as native grass mix, which is encouraged to be native grasses by the GL.	Add information to plans
2.16 e Pervious materials 2.28 e & f Parking substrate	Pavers are noted on the south for the parking and north for snow storage area and then a small walkway on the west elevation for the ADU. These pavers are called out as sand set pavers and are existing.	Add information to plans
(2.37-2.40)/ 16-17-40 Exterior Lighting	Exterior lighting has been called out as down lighting. Any existing exterior fixtures must be replaced if they do not meet current standards as well. An example of the fixture has been provided:	



		
Solar 2.10	NA	NA
Utilities	<p>Utility lines have been shown for dry utilities. Meters were moved to both be under the north roof.</p> <p>Water and wastewater lines have now also been shown.</p> <p>Adjacent rights of way have been included to scale Ruth's Road.</p>	Add information to plans
2.7 Snow Storage	Snow storage has been provided onsite and meets the 33% requirement of the areas to be plowed.	Support
2.25 Fences	There is an existing fence noted on the existing site plan. This will be revised based upon the addition and is shown on the proposed site plan.	Support



Proposed Site Plan

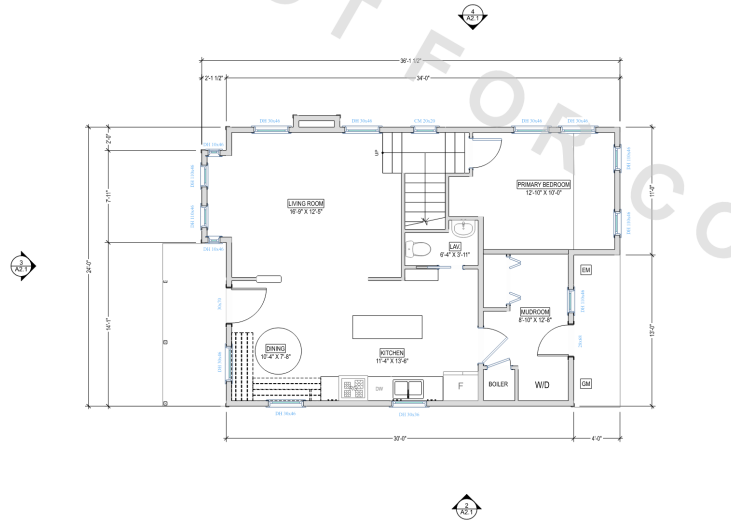
a. Mass/Scale/ Form: Refer to guidelines *4.32-4.34

The existing home is a gable roof, which runs perpendicular to Red Lady Avenue which has two gable dormers on the east and west elevations. The proposal is for a one-story addition on the north, which steps down 7' from the main ridge.

GL	Staff Analysis	DRC Recommendation
4.32 Scale	This addition relates to the overall scale of the neighborhood. Support	Support
4.33 Diversity of form	It honors the original design of the home while meeting the GL with the new addition.	3/17 DRC: Members were concerned regarding the proposed pitch break on either side, as this is not a detail often seen in town. They suggested carrying this down to the ground. The applicant has provided a break in the fascia.
4.34 Massing	The proposed addition is a small rectangular addition. The primary module remains the existing	Support

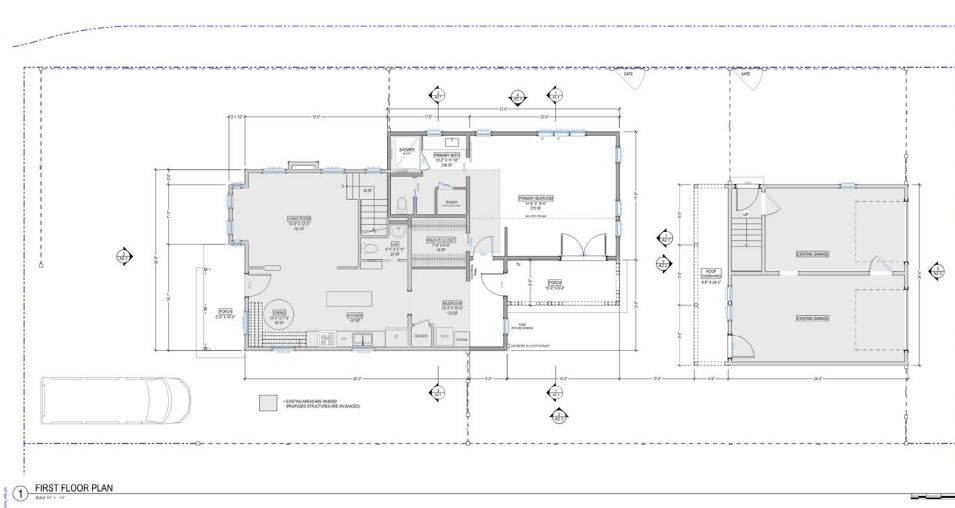


primary ridge. Support.



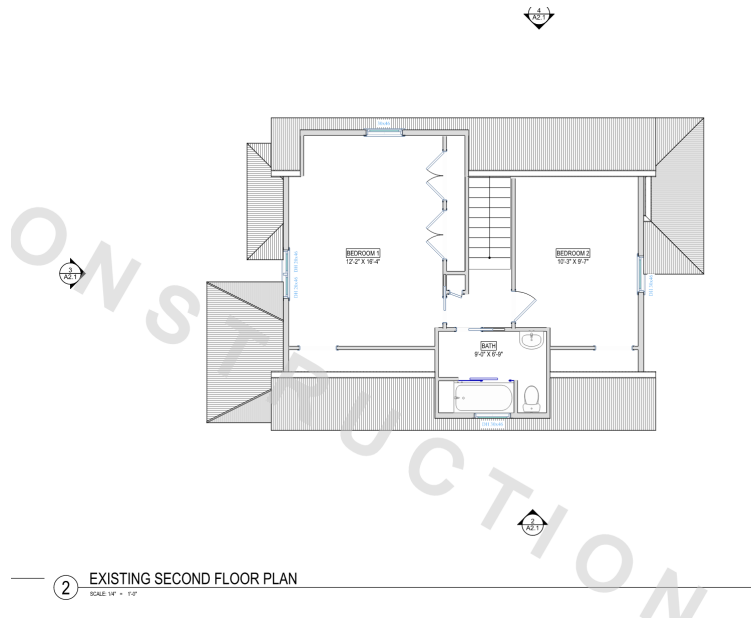
① EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

Existing – First Floor plan

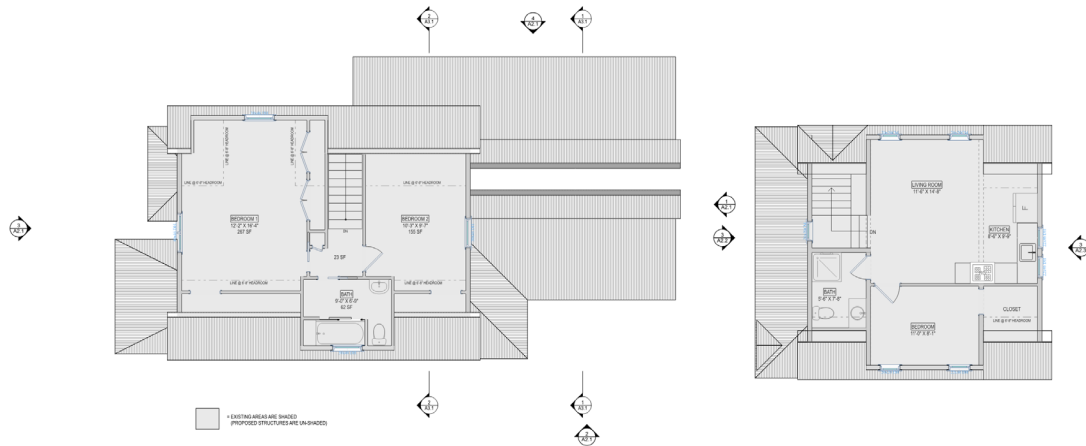


① FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

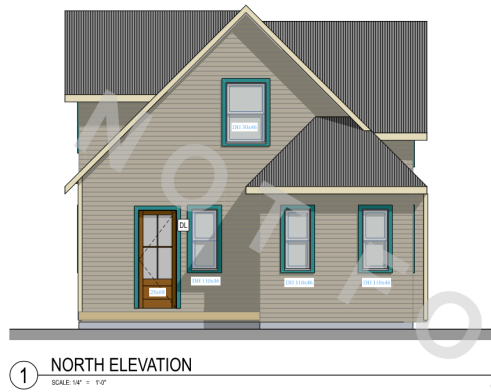
Proposed – First floor plan



Existing – Second floor plan



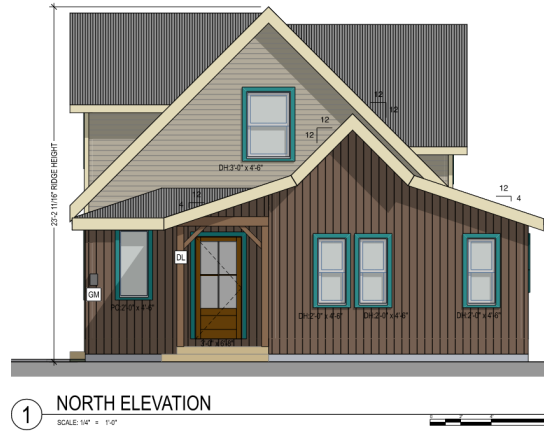
Proposed – Second floor plan



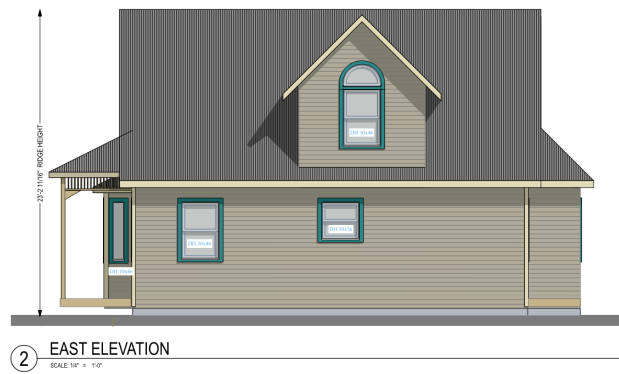
Existing - North



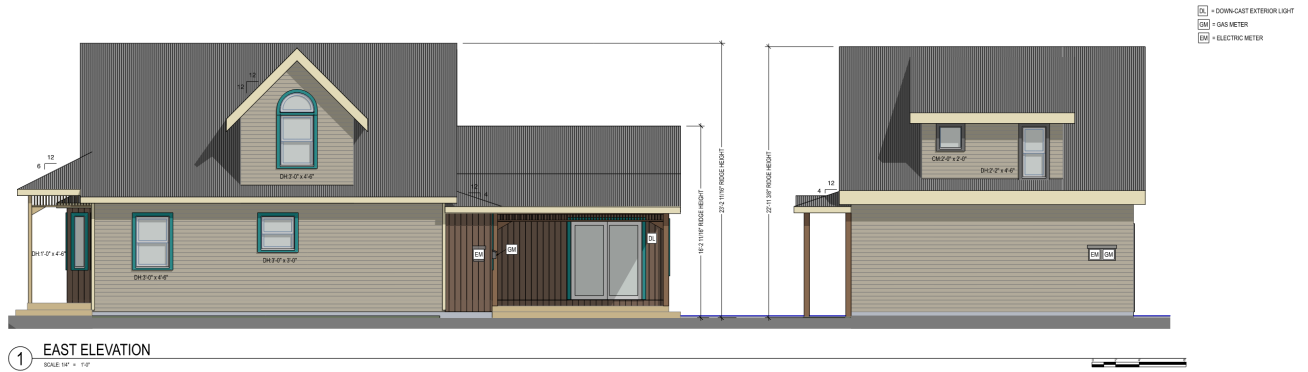
3/17 DRC: Proposed – North



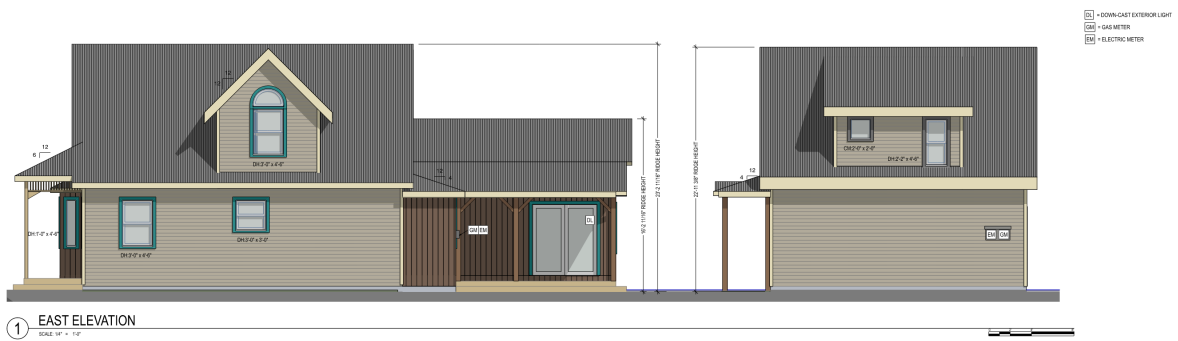
4/29 BOZAR: Revised Proposed – North



Existing - East



3/17 DRC: Proposed East



4/29 BOZAR: Revised Proposed East



Existing - South



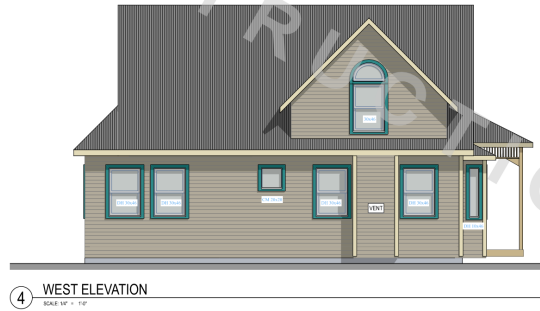
② SOUTH ELEVATION
SCALE 1/4" = 1'-0"

3/17 DRC: Proposed – South



② SOUTH ELEVATION
SCALE 1/4" = 1'-0"

4/29 BOZAR: Revised Proposed – South



Existing – West



3/17 DRC: Proposed – West



4/29 BOZAR: Revised Proposed - West



b. Design and Style: Refer to guidelines *4.35-4.40

GL	Staff Analysis	DRC Recommendation
4.35 Style	The addition is distinguishable as new. The existing home will remain the same. Support	Support
4.36 Exact replication	Met.	Support
4.37 Contemporary interpretation	The siding is proposed to differ from the existing material to help cleave the difference between the existing home and the new addition. Support.	Support
4.38 Mixing of styles	The style of the addition appears to blend with the existing building. Support.	Support
4.39 Additions	The proposed addition is subordinate to the primary building. It is in the rear (south) of the home. Details are consistent. Members can discuss the materials, as proposed to ensure that the vertical material is consistent with the existing Victorian details of the home.	Support

c. Roof forms: Refer to guidelines *4.41-4.45.

GL	Staff Analysis	DRC Recommendation
4.41 Roofs	The new roof pitch is proposed as a 12:12 pitch to match the existing primary pitches of the principal building.	Support
4.42 Shed roofs	There are two shed pitch breaks (4:12) on either side of the 12:12 roof, which appears a bit atypical.	3/17 DRC: Members were concerned regarding the proposed pitch break on either side, as this is not a detail often seen in town. They suggested carrying this down to the ground. The applicant has provided a break in the fascia.
4.43 Mix styles	The mix of small gable with shed pitch breaks appears a bit atypical.	3/17 DRC: Members were concerned regarding the proposed pitch break on either side, as this is not a detail often seen in town. They suggested carrying this down to the ground. The applicant has provided a break in the fascia.
4.44 Ridgelines	Existing, no change.	Support
4.45 Pitches	Existing roof pitches are 12:12, 4:12 and 6:12. New pitches are a mix of 12:12 and 4:12, which is consistent.	Support



3/17 DRC: Proposed – North



4/29 BOZAR: Revised Proposed – North

d. **Dormers:** Refer to guidelines *4.46-4.47 .

GL	Staff Analysis	DRC Recommendation
4.46 Dormers on new construction	Existing, no change.	Support
4.47 Dormers	Existing, no change.	Support



e. **Porches/Balconies:** Refer to guidelines *4.49-4.52

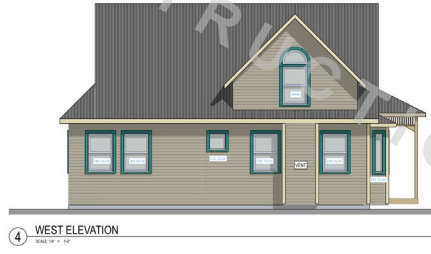
GL	Staff Analysis	DRC Recommendation
4.49 Covered porches	Existing, no change.	Support
4.50 Mix of styles	<p>The front covered entry is a hipped roof. The rear entry is proposed as a shed cover.</p> <p>The rear entry porch is 6'x14', which meets the intents of the GL.</p>	Support
4.51 Side or rear porches	The rear covered entry is simpler as a shed roof entry rather than the front, as a hipped roof.	Support

f. **Windows:** Refer to Guidelines 4.53-4.63.

GL	Staff Analysis	DRC Recommendation
4.53 Window to wall ratio	<p>There is no change to the front elevation fenestration.</p> <p>The rear (north) of the primary building currently has three single windows on the first floor and door glazing and a single window in the gable. The proposal would be for four windows and door glazing on the first floor and the window in the gable would remain. There is a full light window proposed on the north that must have divided lights.</p> <p>The west elevation has six single windows and a single arched top window in the gable dormer. The proposed west would have six single windows and a three pack of square windows and the arched window in the gable to remain.</p> <p>The east elevation has three windows on the first floor and a single arched window in the gable dormer. The proposed east elevation has three single windows and a French door and the arched window in the gable to remain.</p> <p>Support</p>	<p>Support</p> <p>Provided divided lights for full light window on North.</p> <p>The three pack of windows was discussed and was revised to provide trim. Support otherwise.</p> <p>Support</p>
4.54 Vertical emphasis	Windows are proposed as one over one, double hung and double hung style	Support



	<p>casement, with simulated divided lights which is consistent with historic homes.</p> <p>There is one window on the north, which is proposed as a full light window, which must incorporate divided lights.</p> <p>The windows are proposed as double hung and, casement (egress), which is supported by GL 4.54 a with the notation of simulated divided light. Window operations are noted on the plans and a window schedule should be included.</p> <p>Per GL 4.54 c, the windows on the west elevation must include divided lights.</p>	
4.56 Window material	Windows are noted to match existing, which are aluminum clad. General support	Support
4.57 Fenestration pattern	There appears to be 12" to exterior corners, as required by the GL for all new windows.	Support
4.58 Groupings of 2 or more windows	The three pack of square windows on the west, appears to conflict with GL 4.58, as they will be highly visible from Eighth Street. The windows must be separated by siding to be single windows. The applicant provided 3" of trim, but the window still appears as though it may conflict with this GL.	3/17 DRC: Members asked for this three pack to be revised. The applicant has provided for increased trim.
4.58 c. Window sizes	<p>No change on the front elevation.</p> <p>It appears that there are not more than six window sizes on the north, west and east elevations, as required by GL 4.58 c.</p>	Support
4.59 Window and door trim	Trim will match existing (1"x4", off-white). Trim surrounds appear consistent with the GL.	Support
4.60 Divided lights	<p>Windows will match existing double hung style windows. The square windows must have divided lights.</p> <p>There is a full light window proposed on the north that must have divided lights.</p>	
4.61 Transom windows	NA	NA



Existing elevations



3/17 DRC: Proposed – East



4/29 BOZAR: Revised proposed north



3/17 DRC and 4/29 BOZAR: Proposed – South



3/17 DRC: Proposed – West

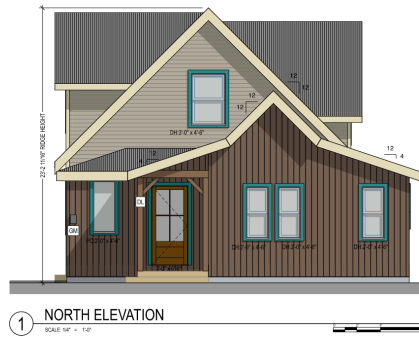


4/29 BOZAR: Revised proposed west elevation



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

3/17 DRC: Proposed – North



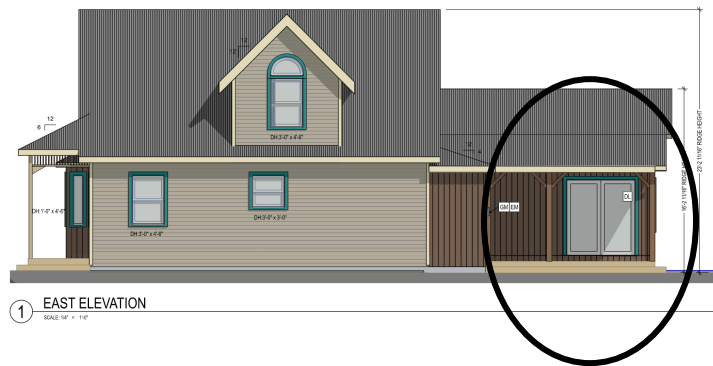
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

4/29 BOZAR: Revised proposed North

g. **Doors:** Refer to GL 4.64-4.66.



GL	Staff Analysis	DRC Recommendation
4.64 Primary door	Existing, no change.	Support
4.65 Primary door	Existing, no change.	Support
4.66 Secondary doors	<p>The rear door is proposed as a wood $\frac{3}{4}$ light door, which appears consistent with the GL.</p> <p>There is another door on the east elevation, which was revised to a French door.</p>	3/17 DRC: Members asked for the door to be revised, as sliding glass wasn't supported.



h. **Lighting:** Refer to GL 2.37-2.40.

GL	Staff Analysis	DRC Recommendation
2.37 /4.74 Exterior lighting	<p>Exterior lighting has been called out as down lighting. Any existing exterior fixtures must be replaced if they do not meet current standards as well. An example of the fixture has been provided:</p>	

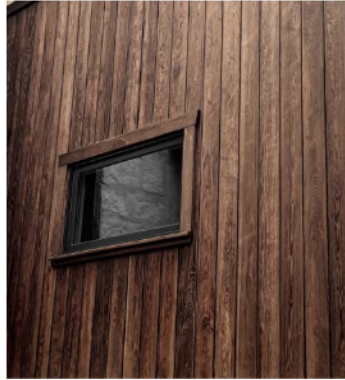


- i. **Materials:** Refer to GL 4.75-4.83.

Existing siding is Hardie plank cedar mill lap siding.



The proposed siding is a wood plank siding for the addition and south bay window (medium/ dark brown). **This is noted as a 1"x4" IPE class A fire rated siding.**



Roofing is proposed as galvanized, corrugated metal (dulled).



Trim is 1"x4" wood (off-white, Adobe, teal for window). Fascia is 1"x8" (off-white) and corner boards are 1"x4" (off-white).



Windows are proposed as double hung, casement and fixed with simulated divided lights aluminum clad (white).

The rear door is proposed as a wood $\frac{3}{4}$ light door.

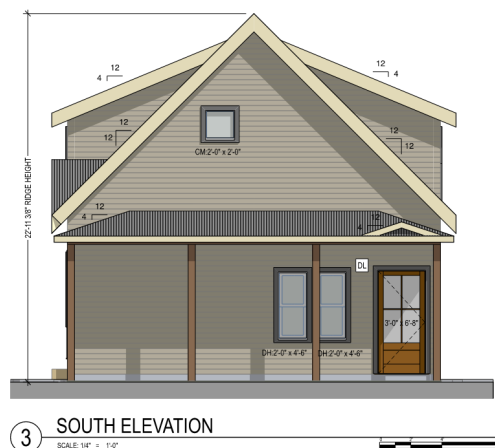


There is another door on the east elevation, which must be confirmed for type and material. It appears that the door might be a sliding glass door.

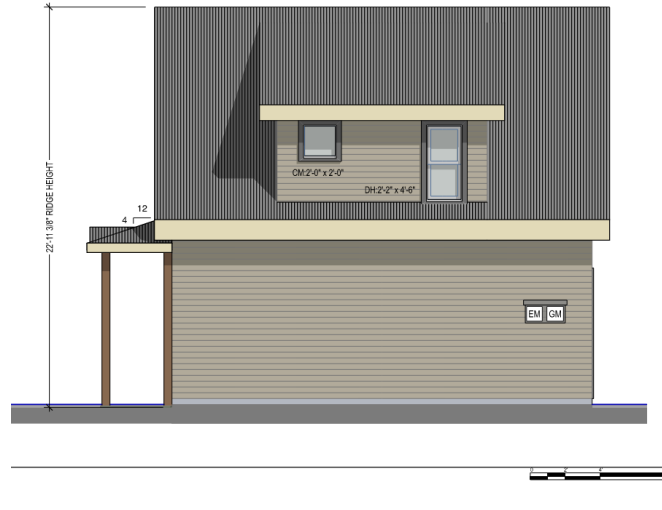
There are posts on the new proposed porch, 5"x5" These appear to be medium/dark brown to match new siding.

GL	Staff Analysis	DRC Recommendation
4.75 Exterior materials	The new vertical wood siding is consistent with the GL.	Support
4.75 e/ 4.80 a foundation treatment	NA	NA
4.79 Treatment of siding	The proposed new siding is a vertical wood fire rated siding.	Support
4.81 Mix of materials	This GL supports a mix of materials. Discussion is encouraged to determine if the mix is consistent with what would have been seen historically.	Support
4.82 Roofing	Roofing will match existing. Support	Support
4.83 porches/decks	Support	Support

j. **ADU: Porches/Balconies:** Refer to guidelines *4.49-4.52



South elevation - ADU



East Elevation – ADU



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

West Elevation - ADU

GL	Staff Analysis	DRC Recommendation
4.49 Covered porches	The new porch, as proposed, is simpler than the primary building. Support.	Support
4.50 Mix of styles	NA	NA
4.51 Side or rear porches	NA	NA



k. **ADU Materials:** Refer to GL 4.75-4.83.

All materials are existing to remain. The new roof will match existing, as galvanized, corrugated metal (dulled).

The fascia will match existing 1"x8" (off-white).

There will be new posts, sizing must be confirmed (medium/dark brown).

I. Overview of DRC findings:

- **Site Plan:** Overall support for proposed revisions to the site plan.
- **Residence:** Full Board discussion for the addition to the primary building regarding the forms of the addition. Mass and scale received a recommendation of support.
- **Residence:** Overall support for the architectural appropriateness for the addition to the primary building.
- Full Board discussion about roof forms, as proposed from the north elevation.
- **ADU:** Recommendation of support regarding mass/scale/form of the addition to the ADU.
- Recommendation of support regarding architectural appropriateness of the addition to the ADU.
- **Materials:** Recommendation of support for the proposed materials for the residence and ADU.

IV. Proposed findings and motions:

1. Finding (Architectural Appropriateness)

The Board finds that the application **Margaret E. Ochs and David J. Ochs** to site an addition on the existing single-family residence and an addition to the existing accessory dwelling to be located at 801 and 803 Red Lady Avenue, Block 65, Lots 17 and 18 in the R1 zone will not appear or will appear excessively dissimilar to structures of like use within the surrounding neighborhood.

The form of the additions **are** or are not consistent with additions in the R1 zone neighborhood.

Support for roof of the addition to the primary building: The roof for the addition can be supported by the application of Guidelines 4.32-4.34 (mass/scale/form) and 4.35-4.39 (design and style) based upon the following:

- The addition steps down from the existing building's ridge.
- The addition is on the rear of the property and not visible from the street.

OR



Denial of roof of the addition to the primary building: The roof forms for the addition is opposed based upon the application of Guidelines 4.26 (context), 4.42-4.43.

The application **can be supported** or is opposed by the application of Guidelines 4.25, 4.26 (context), 4.41-4.45 (roof forms), 4.53-4.61 (windows), 4.66 (doors), 4.75, 4.79, 4.81-4.83 (materials) and _____, with the following conditions:

- Final landscape plan should be provided to the building department for Chair review and sign off if changes are proposed during the construction phase. If any trees need to be removed, this will come back to the BOZAR Chair and Town Staff.
 - Parking must be maintained and accessible on a year round basis.
 - Snow must be stored onsite or removed from the site and cannot be stored on town right's of way.

If approved by the Board, the approval is valid for one year from the approval date with a request for extension of up to three years administratively through Staff.

Motion (Architectural appropriateness)

Motion to **approve** or deny architectural appropriateness for the application of **Margaret E. Ochs and David J. Ochs** to site an addition on the existing single-family residence and an addition to the existing accessory dwelling to be located at the aforementioned address in the R1 zone (with any changes specified _____) based upon the finding, and per the plans and materials list.

DRC Notes: 3/17/2025 DRC

Members; Davol and Schmidt

1. Ochs (801-803 Red Lady); Missy Ochs submitted plans for an addition to the existing SFR and ADU at 801-803 Red Lady Avenue within the R1 zone. The addition to the existing SFR is subordinate. The roof forms are a bit atypical, but meet requirements for pitches within the GL. Zoning requirements for this proposal have been met. The following information must be included on the site plan, drainage, ground cover, confirmation of paver material, water/wastewater lines. The new rear porch meets requirements in 4.51. The square windows on the west must include divided lights due to the size. These windows must also be separated by at least 3.5" of trim. There appears to be more than six window sizes on the west elevation and must be revised. Confirmation is needed on the operation of the new door, as proposed on the east elevation. Discussion of the proposed variance of materials is encouraged to ensure that it meets requirements of the GL 4.81. The porch addition to the existing ADU meets requirements of the GL for both porches 4.59-4.61 and also ADU's 4.88 .

Missy and Dave Ochs were present for the meeting.

Site plan: the pavers are existing and there are no new areas proposed. Support.

Ground cover for disturbed areas will be native grass. This will be noted on the plans.

Door: The front door will be changed out for a new door, as it is an old inefficient door currently.

East elevation: support with discussion about the door, as proposed. Sliding doors aren't supported by GL 4.66 a. Schmidt mentioned they could erect a wall on the east side of the porch and keep the sliding glass door, which would then be interior. If it is exterior, it would need to be a French or bifold.

South: Support, as proposed.

North: Members suggested continuing fascia/trim/corner boards to give the illusion of the gable. As proposed, the roof forms are compliant as pitches are concerned, but the forms are not something seen within town.

West: the three pack of windows was discussed. They will include divided lights and also, have 3.5" trim between. This trim will be turquoise to match other trim details.

Materials were supported, as proposed.

The applicants were given the option of returning to a second DRC at the April 21st meeting. We would need drawings by April 9th, if they'd like to do this.

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME David and Margaret Ochs

LEGAL Lot 17 and 18, Block 65, Crested Butte ZONE R1

ADDRESS 801 Red Lady Avenue, Crested Butte, CO 81224

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|--|---|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input checked="" type="checkbox"/> Galvanized, Corrugated
Metal |
| <input type="checkbox"/> Milled Shingle | <input type="checkbox"/> Standing Seam | <input type="checkbox"/> 5-V Crimp |
| <input type="checkbox"/> Other _____ | | |

EXTERIOR FINISH

Siding

- | | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|-------------------------------------|-------------|--|-----------------|--------------|
| <input checked="" type="checkbox"/> | Horizontal | James Hardie Primed Straight Fiber Cement Cedarmill Lap siding | | |
| <input checked="" type="checkbox"/> | Vertical | Medium/Dark Brown wood plank siding on new addition and front window bay | | |
| <input type="checkbox"/> | Other | _____ | | |
| <input type="checkbox"/> | Stucco | _____ | | |
| <input checked="" type="checkbox"/> | Trim | Off-White 1 x 4, detail trim in existing Adobe color, window trim in existing teal color | | |
| _____ | | | | |

☒ Fascia Off-White 1 x 8

☒ Corner Boards Off-White 1 x 4

DOORS

MATERIAL

STYLE

FINISH

Primary door Beveled Glass Provincial Stain Hemlock

Secondary door Beveled Glass Provincial Stain Hemlock

WINDOWS

Type:

☐ Casement

☐ Casement, egress

☒ Double hung

☐ Awning

☐ Fixed

☐ Slide-by

Style:

☐ Simulated,
divided lite

☒ True, divided
lite (historic)

☐ Decorative
mullions

☐ Other

Material:

☐ Wood

☒ Aluminum
clad, wood

☐ Other

Glazing:

☐ Low E

☐ Heat mirror

☐ Tempered

☒ Standard

☐ Other

Describe locations if a mix is used

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Turned posts on existing front porch and proposed back porch

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.



SIGNATURE OF OWNER / REPRESENTATIVE David and Margaret Ochs

DATE 02-12-2025

ACCESSORY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME David and Margaret Ochs

LEGAL Lot 17 and 18, Block 65, Crested Butte ZONE R1

ADDRESS 803 Red Lady Avenue, Crested Butte, CO 81224

TYPE OF STRUCTURE

- ☐ Accessory Building, heated and/or plumbed ☐ Accessory Building, cold
- ☒ Accessory Dwelling ☐ Addition ☐ Historic Rehab
- ☐ Other _____

ROOFING TYPE

- ☐ Shake Shingle ☐ Pro Panel style ☒ Galvanized, Corrugated Metal
- ☐ Milled Shingle ☐ Standing Seam ☐ 5-V Crimp
- ☐ Other _____

EXTERIOR FINISH

Siding

- | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|--|---|----------------------|--------------|
| <input checked="" type="checkbox"/> Horizontal | James Hardie Primed Straight Fiber Cement | Cedarmill Lap siding | |
| <input type="checkbox"/> Vertical | | | |
| <input type="checkbox"/> Other | | | |
| <input type="checkbox"/> Stucco | | | |
| <input checked="" type="checkbox"/> Trim | Off-White 1 x 4, window trim in existing grey color | | |

☒ Fascia Off-White 1 x 8

☒ Corner Boards Off-white 1 x 4

DOORS

MATERIAL

STYLE

FINISH

Primary door Dark Brown Wood with glazing

Secondary door Dark Brown Wood with glazing

WINDOWS

Type:

☐ Casement

☐ Casement, egress

☒ Double hung

☐ Awning

☐ Fixed

☐ Slide-by

Style:

☐ Simulated,
divided lite

☒ True, divided
lite (historic)

☐ Decorative
mullions

☐ Other

Material:

☐ Wood

☒ Aluminum
clad, wood

☐ Other

Glazing:

☐ Low E

☐ Heat mirror

☐ Tempered

☒ Standard

☐ Other

Describe locations if a mix is used

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Turned Posts for new porch addition

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE  David and Margaret Ochs

DATE 02-12-2025

DATE	FEES PAID	APPLICANT David and Margaret Ochs	APPLICATION #
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DEVELOPMENT PERMIT APPLICATION

Town of Crested Butte Building Department

PO Box 39 Crested Butte, Colorado 81224

(970) 349-5338

*Return this completed application to the Building Department with all necessary documents as identified in the Building Permit Application Requirements form.

PROJECT PHYSICAL ADDRESS 801 Red Lady Avenue	LEGAL ADDRESS Lot 17 & 18, Block 65, Crested Butte	ZONE R1	USE TYPE SF Residential
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APPLICANT/AGENT Self	MAILING ADDRESS PO Box 2562 Crested Butte, CO 81224	TELEPHONE 970-209-3313	EMAIL redlady801@msn.com
PROPERTY OWNER Margaret and David Ochs	MAILING ADDRESS PO Box 2562 Crested Butte, CO 81224	TELEPHONE 970-209-3313	EMAIL redlady801@msn.com
CONTRACTOR Tony Lambert	MAILING ADDRESS 66 Goren St. Crested Butte, CO 81224	TELEPHONE 970-209-8498	EMAIL tlambchop@msn.com
ARCHITECT Jon Sevigny	MAILING ADDRESS 15 Longwood Dr Kennebunk, ME 04043	TELEPHONE 800-258-9786	EMAIL jonm7e@yahoo.com
ENGINEER Mike Arbany	MAILING ADDRESS PO Box 2544 Crested Butte, CO 81224	TELEPHONE 970-349-5922	EMAIL mike@coloradostructural.com

BUILDING CLASSIFICATION:
SFR ☒ DUPLEX ☐ MULTIFAMILY ☐ COMMERCIAL ☐ ACC.DWELLING ☐ ACC.BUILDING ☐ HISTORIC ☐

PROJECT TYPE:
NEW CONSTRUCTION ☐ ADDITION ☒ REMODEL ☐ PLUMBING/MECHANICAL ☐ OTHER ☐

PROJECT DESCRIPTION Gable addition to North side of existing home, to include ground floor master bedroom and mud room enlargement. Relocation of utilities. Roof overhang on accessory.	ESTIMATED PROJECT VALUATION MATERIALS \$150,000 LABOR \$150,000 TOTAL \$300,000
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DEPARTMENTAL USE ONLY

SPECIAL CONSIDERATIONS: CONDITIONAL USE PERMIT <input type="checkbox"/> _____ CONDITIONAL WAIVER <input type="checkbox"/> _____ VARIANCE <input type="checkbox"/> _____ PUD <input type="checkbox"/> _____	SETBACKS FRONT REAR SIDE() SIDE() Existing Primary Accessory Proposed Primary Accessory
--	--

EXISTING BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL	PROPOSED BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL
EXISTING FAR	PROPOSED FAR
BUILDING WIDTH	BUILDING HEIGHT
PARKING SPACES	% OPEN SPACE
# OF LIVING UNITS	ZONE
EXISTING EQR'S	PROPOSED EQR'S
REQUIRED SUBMITTAL DOCUMENTS Limited Power of Attorney <input type="checkbox"/> Recorded Conveyance Deed <input type="checkbox"/> Materials Lists <input type="checkbox"/> Plans (Full-Size & 11"x17") <input type="checkbox"/> Publication Fee Fee <input type="checkbox"/>	

This Building Permit shall become null and void if construction is not commenced within 60 days of the date of issuance. The Building Permit shall expire one year after the date of issuance and all construction must be completed prior to the expiration of the permit, provided, however, that the building inspector may renew the Building Permit for additional six month periods FOR GOOD CAUSE SHOWN and without additional cost to the applicant.

I hereby certify that all the information provided in this application is true and correct. I understand that submittal of this application does not constitute a right to perform the work or establish the use requested. I understand that the request may be denied, approved or approved with changes or conditions. Fees that are associated with the application are not refundable. I understand that the application, if approved, must be constructed in accordance with the approved plans and conform with the Town's architectural approval and applicable building codes. I understand that any approval will become null and void 180 days after the approval date if a permit is not purchased, or three years if a vested property right is purchased.

Signature of Contractor/Authorized Agent:  Date: 2/13/25

Signature of Owner/Authorized Agent:  Date: 02-12-2025













Division 1 - "R1" Residential District

Sec. 16-4-10. - Intent of district.

The purpose for which this District is created is the provision of areas for low-density residential development along with customary accessory uses. Recreational and institutional uses customarily found in proximity to such residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

(Prior code 15-2-6; Ord. 3 §9, 1994)

Sec. 16-4-20. - Permitted uses.

The following uses shall be permitted uses in the "R1" District:

- (1) One-family dwelling units.
- (2) Accessory buildings, nonresidential use, not heated or plumbed.
- (3) Home occupations.
- (4) Private garages as accessory buildings to the principal permitted uses.

(Prior code 15-2-6; Ord. 3 §3, 1994; Ord. 10, 2000; Ord. 4 §1, 2009)

Sec. 16-4-30. - Conditional uses.

The following uses shall be permitted as conditional uses in the "R1" District:

- (1) Accessory dwellings.
- (2) Two-family dwelling units.
- (3) Public playgrounds and public recreation areas.
- (4) Churches and church schools.
- (5) Nonprofit libraries and museums.
- (6) Farm and garden buildings.
- (7) Public and private schools.
- (8) Shop crafts.
- (9) Bed and breakfast establishments, provided that the granting of such conditional use shall be subject to the requirements for short-term rentals in the "R1" District as set forth in Subsection 16-14-90(c) of this Chapter.
- (10) Parking areas.
- (11)

Accessory buildings, nonresidential use, heated.

(Prior code 15-2-6; Ord. 4 §3, 1990; Ord. 13 §6, 1991; Ord. 5 §2, 1993; Ord. 3 §3, 1994; Ord. 21 §1, 2004; Ord. 4 §1, 2009; Ord. No. 2, § 3(Exh. A), 3-6-2023)

Sec. 16-4-40. - Lot measurements.

The following shall be lot measurements for property located in the "R1" District:

- (1) Minimum lot area: five thousand (5,000) square feet.
- (2) Maximum lot area: nine thousand three hundred seventy-five (9,375) square feet.
- (3) Minimum lot width: fifty (50) feet.
- (4) Minimum front yard: twenty (20) feet.
- (5) Minimum side yard: seven and one-half (7½) feet for single-story and flat-roofed buildings and as much as eleven and one-half (11½) feet for sloped-roofed buildings, dependent upon snow storage guidelines.
- (6) Minimum rear yard:
 - a. Principal building: ten (10) feet.
 - b. Accessory building: five (5) feet.

(Prior code 15-2-6; Ord. 3 §9, 1994; Ord. 4 §1, 2009)

Sec. 16-4-50. - Floor areas.

The following shall be measurements for floor areas for property located in the "R1" District:

- (1) Minimum floor area: four hundred (400) square feet for each residential unit; provided, however, that the minimum floor area for an accessory structure built before July 1, 1942, which is being converted to a residential unit, historic accessory structure, shall be two hundred twenty (220) square feet, plus a closet, a bathroom and one hundred (100) additional square feet for each occupant in excess of two (2), only if the following conditions are met:
 - a. The residential unit must be an accessory dwelling used exclusively as a long-term rental unit;
 - b. The occupants of the dwelling must have been residents of the County for three (3) consecutive years of the preceding seven (7) years;
 - c. At least fifty-one percent (51%) of the occupants' income must be earned from work for an employer situated within the County or from work actually performed in the County; and
 - d. The above limitations for occupants and the limitation of the term of rental shall be recorded pursuant to Section 16-9-70 of this Chapter.
- (2) Maximum floor area:

- a. Accessory building, including an accessory dwelling, if any: one thousand (1,000) square feet or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.
- b. Accessory dwelling: one thousand (1,000) square feet of floor area or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.

(3) Maximum floor area ratio:

- a. Principal building: 0.3 as a matter of right, up to 0.4, depending on neighborhood context and lot size; provided that no principal building shall exceed two thousand eight hundred (2,800) square feet.
- b. All buildings: 0.5, provided that all buildings shall not be larger than three thousand eight hundred (3,800) square feet in the aggregate.

(Prior code 15-2-6; Ord. 4 §4, 5, 1990; Ord. 4 §12, 1991; Ord. 16 §1, 1992; Ord. 11 §7, 1993; Ord. 3 §3, 1994; Ord. 4 §1, 2009)

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

(1) Maximum building height:

- a. Principal building: thirty (30) feet.
- b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
- c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.

(2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

(Prior code 15-2-6; Ord. 4 §5, 1990; Ord. 4 §16, 1991; Ord. 3 §32, 1994; Ord. 4 §1, 2009)

Sec. 16-4-70. - Additional provisions.

- (a) Open space required: Fifty percent (50%) of the lot area shall be open, unencumbered and free of any building or structure.
- (b) Minimum exterior wall height: seven (7) feet.
- (c) Minimum vertical distance from eave line of roof to the finished grade level: six (6) feet.
- (d) Slope of roof: a minimum of 4:12. A flat roof must contain a parapet on the side facing a street, and as otherwise required by the Board.
- (e)

Stream margin review: all uses within twenty (20) feet of a designated water course shall meet the requirements of Section 16-11-10 of this Chapter.

(Prior code 15-2-6; Ord. 4 §5, 1990; Ord. 4 §16, 1991; Ord. 3 §§10, 32, 1994; Ord. 4 §1, 2009)