



Staff Report

To: BOZAR
From: Jessie Earley, Senior Planner
Meeting Date: BOZAR, January 27, 2026
RE: 45 Augusta Drive, Final Review

PROJECT TITLE: Augusta Park Partners LLC (45 Augusta Drive)

SUMMARY: Consideration of the application of **Augusta Park Partners LLC** to site a single-family residence and a cold accessory building to be located at 45 Augusta Drive, Lot T5, Slate River Subdivision in the R1F zone.

- Architectural approval is required.

LEGAL DESCRIPTION: Lot T5, Slate River Subdivision

ADDRESS: 45 Augusta Drive

ZONE DISTRICT: R1F

OWNER: Augusta Park Partners LLC

APPLICANT: Andrew Hadley and Chris Penfield

DRC MEMBERS: Davol and Alvarez Marti (12/08/2025) and Davol and Anderson (01/12/2026)

STAFF MEMBER: Jessie Earley, Senior Planner

ATTACHMENTS:

1. Plans
2. GIS Map
3. Materials list(s)
4. Section 16-4-1000 to 16-4-1060
5. DRC Notes (12/08/2025 and 01/12/2026)

These packet materials are available at this [link](#). Staff can provide paper copies of the packet upon request.

PROJECT DESCRIPTION

1. Construct a new single-family residence.
2. Construct a cold accessory building (garage).

PUBLIC NOTICE

This item was properly noticed per Section 16-22-110 (c). The affidavit of posting is on file in the Preservation Department.



I. **Background/Overview:** Andrew Hadley and Chris Penfield submitted an application on behalf of the Augusta Park Partners LLC for plans to construct a new single-family residence and a cold accessory building located at 45 Augusta Drive.

II. **Status:** The applicant met with the DRC on December 8th, 2025 and notes from this meeting are attached for more detailed information. The following revisions have been made since that meeting:

- Buildings shifted to the east.
- Stairs from rear deck were revised.
- Floor plans revised to meet FAR requirements
- Slight revisions to windows on the front (east)
- Changes to materials for primary and accessory buildings.
- Removal of the French door from the AB
- Trees added on east and west (aspen and spruce)
- Driveway is asphalt.

Applicants met with the DRC at the January 12th, 2026 BOZAR and notes from this meeting are attached for more detailed information. The following revisions have been made since that meeting:

- Site plan updated with
 - Drainage
 - Utilities
 - Hardscape
 - Parking spaces
- Windows on accessory building have divided lights on west.

III. **Subdivision: (Slate River Subdivision)** Developed in 2020, the Slate River Subdivision/Annexation was developed for a mix of zone districts and uses, including:

TP1: Public Zone

TP2: Public Zone

TP3: R4 Zone (Mineral Point development)

TP4: Public/Open Space Zone (snow storage)

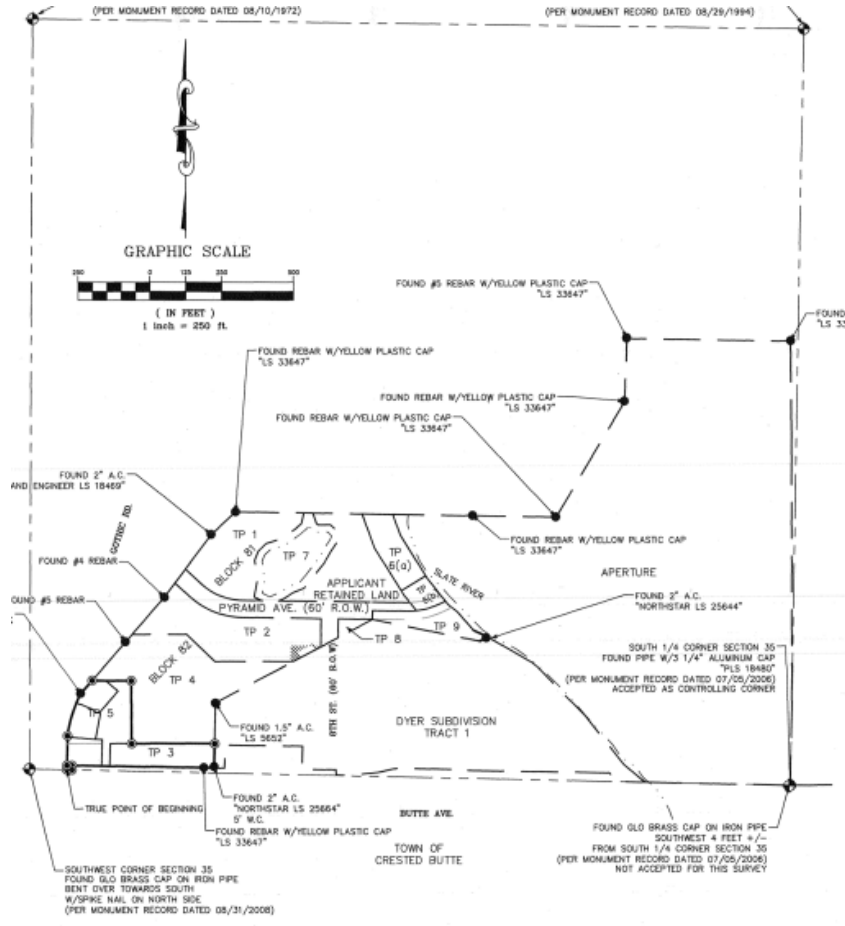
TP5: R4 Zone (partial Mineral Point development and future housing development site)

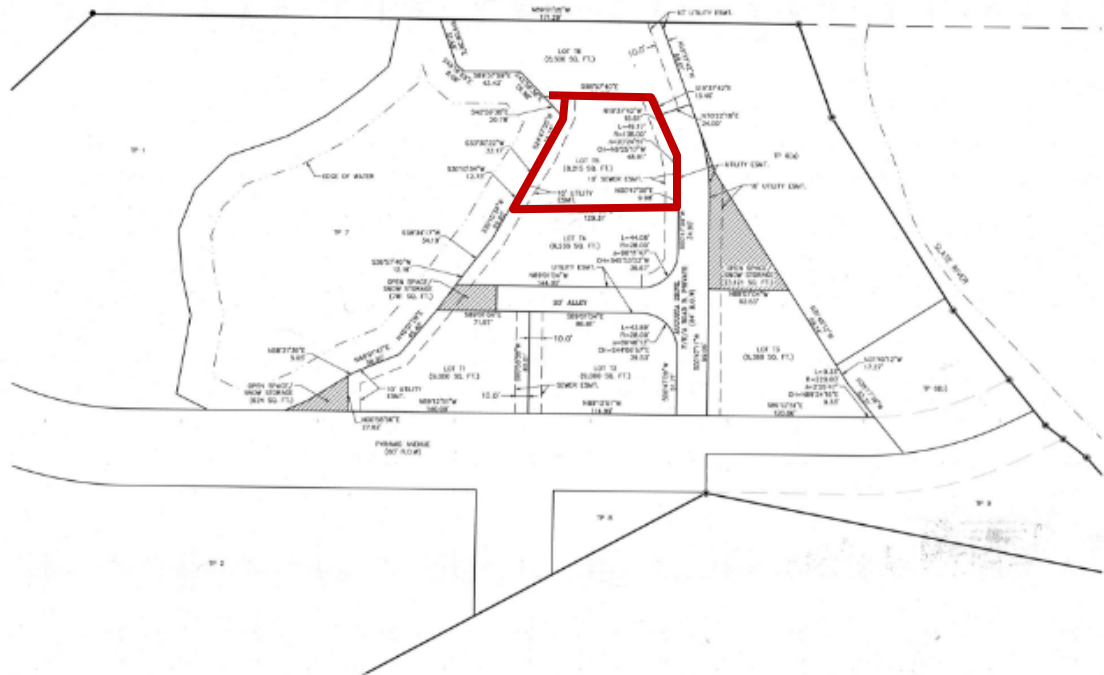
TP6: Public/Open Space Zone (boat put in)

TP7: Public/Open Space Zone (wetland/trail)

Augusta Park: R1F Zone (applicant of the original subdivision retained lots (6), which are now being sold)

Although Mineral Point construction is well underway and the boat put in is complete, this area is largely undeveloped at this time. There are plans approved for a home on the lot to the southeast of this at 75 Pyramid Avenue. Then, the lot to the south at 65 Pyramid Avenue is under review at the December BOZAR.





IV. **Context:** Refer to guidelines 4.25-4.26.

This will be the third home within the Augusta Park neighborhood, which is zoned R1F. This zone district is much like the R1E and R1D zones, which are considered new zone districts. In that vein, the Board can look to these neighborhoods for context, if needed.

The Board should comment on whether the diversity in forms is achieved in relation to the neighborhood in a manner that will not appear excessively similar or dissimilar.

GL	Staff Analysis	DRC Recommendation
4.25	The forms differentiate from newer residences located in the 800-900 blocks within town per context GL 4.25.	
4.26	<p>Discussion is encouraged to determine if what is proposed is a contemporary interpretation and variety or if the proposal is excessively dissimilar.</p> <p>The shed module as proposed on the front elevation (East) does not meet the definition for a dormer and also is not a full shed module, as the wall steps from that of the addition below. Discussion is encouraged to determine if it's placement is consistent with forms seen elsewhere in the R1F/R1D zones. The</p>	<p>12/8 DRC: Members did not feel that the shed element on the east was a dormer and could support.</p> <p>1/12 DRC: Support</p>



	<p>windows on this module also appear to break the floor plane.</p> <p>Discussion is encouraged regarding the proposed stone retaining wall for the termination of the porch posts on the accessory building. This appears atypical.</p>	
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V. **Land Use Code Review:**
Residential Zone District (R1F) (Sec. 16-4-1000-16-4-1060)

Dimensional Limitations	Required by Chapter 16	Proposed	Compliant
Minimum Frontage	50'	88'1"	Yes
Maximum Lot Area:	11,400 sf	8215 sf	Yes
Minimum Lot Area:	5000 sf	8215 sf	Yes
# Dwellings:		1	Yes
Minimum Setbacks:			
Principal: Front (East):	Public Street, 20' Private access road, 10'	15'11" (principal, Augusta Drive)	Yes
Principal: Side Yard (south):	7'6"-11'6"	7'6"" (1 story elements) 11'6" (2 story elements)	Yes
Principal: Side Yard (north):	7'6"-11'6"	10'3" (wall to wall with accessory building)	Yes
Principal: Rear (west):	10' (Principal) 5' (Accessory) 7'6" (Wetland)	25'10" (principal)	Yes
Accessory Building: Side Yard (north)	7'6"-11'6"	7'6"	Yes
Accessory Building : Rear Yard (west)	10' (Principal) 5' (Accessory) 7'6" (Wetland)	20'3"	Yes
Accessory Building: Side Yard (south)	7'6"-11'6"	10'3"	Yes
Between buildings	10'	10'3" (north elevation of principal to south elevation of accessory)	Yes
Max FAR - Primary:	2800 sf maximum	2757.1 sf	Yes
Max FAR – All Buildings:	3800 sf maximum	3691.8 sf	Yes
Height:	30' /20'/ 24'	29'10"" (principal) 17'7" (accessory, garage)	Yes
Roof Pitch	Minimum 4:12	12:12 (principal, primary roofs) 6:12 (secondary roofs)	Yes



		6:12 (principal, porch roofs) 8:12 (accessory, garage, primary roof) 4:12 (accessory, secondary roof)	
Width	35'	35'	Yes
Snow Storage	>33%	53.9%	Yes
Open Space	50%	63%	Yes
Parking	2 spaces	2 spaces (1 interior, 1 exterior)	Yes

VI. Design GL Analysis

R-1F Zone: The purpose for which this District is created is to provide areas for low-density residential development along with customary accessory uses. The lots in this District provide a transition between the Town and the still larger residential lots outside of Town. Accessory uses naturally and normally incidental to and exclusively devoted to such primary residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

Design Goals: Accommodate the needs of our growing community, while at the same time maintaining the architectural integrity and traditional character of Town. New construction for this zone should appear compatible with the R1 zone massing, scale and styles related in the guidelines.

The Town's design goals for this district are:

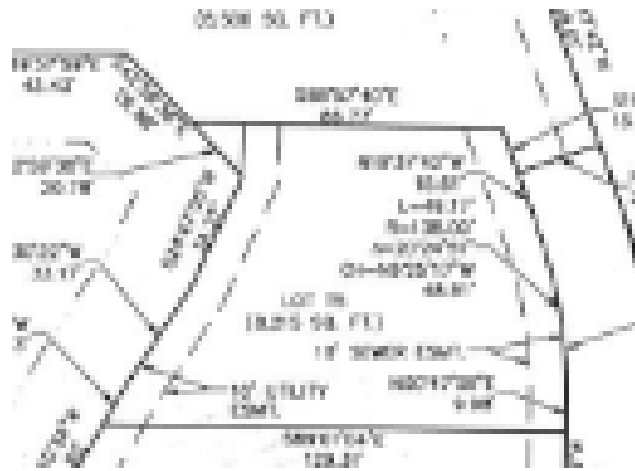
- To encourage appropriate infill and changes to existing structures that complement the character of the historic residential core areas.
- To maintain the size and scale of the R1 neighborhoods so they complement, rather than overwhelm or detract from, historic structures.
- To maintain and encourage pedestrian size, scale, uses, and orientation.
To allow for greater flexibility in design compared with what is allowed in historic areas.

- a. **Site planning:** Refer to GL: 2.16-2.40, 3.1-3.2, 5.108-5.112.

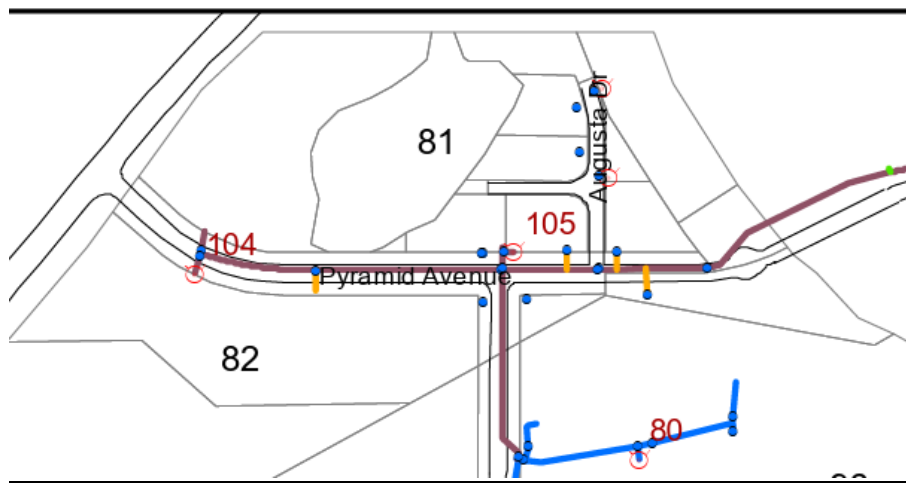
GL	Staff Analysis	DRC Recommendation
Topography	On the southwest corner of the lot the grade is noted as 8870'. This transitions to 8876' on the eastern portion of the lot. Over the course of the primary building footprint, the grade is 8875'9", which is the elevation used for measuring FAR. For the purposes of measuring FAR for the accessory building, the grade is 8872'.	
2.8 Drainage	Drainage information has been provided. Drainage arrows for the site have been shown.	12/8 DRC: Add information to plans. 1/12 DRC: Add information to the site plan. Information added.
Easements	There is a 10' utility easement for the east and west side of the lot. This has been called out on the site plan.	Add information to the site plan
2.16 Substantial landscaping	The plan is fairly minimal. Provision of	



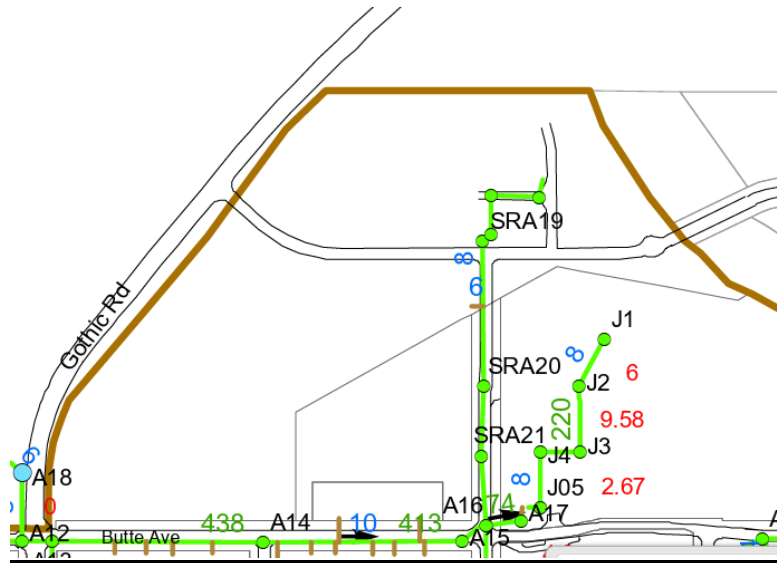
	a final landscape plan will be required for review and approval if revisions are proposed after permitting prior to a CO.	
2.19 New trees	There are a cluster of aspens proposed on the southeast corner, cluster of aspen trees on the northwest corner and a proposed spruce on the southwest corner, which appears to meet the intents of GL 2.19 a as it requires two trees and 4.28.	12/8 DRC: Two trees must be added to satisfy the requirements of this GL. The site plan was updated.
2.16 a./ 2.20 Native plantings	Ground cover is not noted. Native materials are encouraged by the GL.	Add information to plans.
2.16 e Pervious materials 2.28 e & f Parking substrate	Walkway, and patio (420 sf, 1046 sf) are not called out but appear to be pavers. There is an area for the driveway to the accessory that is asphalt (496 sf). Board members can discuss whether these areas are consistent with other proposals. Parking spaces are now called out on the plans. Comparison data: 65 Pyramid Ave: 1968.15 sf (pavers/asphalt) 75 Pyramid Ave: 2615 sf (pavers/concrete/gravel) 31 Augusta Park Drive : 1883.97 sf (pavers)	Support
(2.37-2.40)/ 16-17-40 Exterior Lighting	Lighting has been identified and is in compliance with the night sky ordinance.	1/12 DRC: Add information to plans. Information has been added.
Solar 2.10	Panels are shown on the west elevation of the primary building and south elevation of the accessory building/garage. Support.	Support
Utilities	Wet and dry utility lines have been included. The water tap looks to be on the east portion of the lot. A forced main will be required and this lot does not have the option to convert to a gravity fed system. Adjacent rights of way (Augusta Drive) have been included to scale.	1/12 DRC: Add information to plans. Information has been added.
2.7 Snow Storage	Snow storage has been provided onsite and it meets the 33% requirement of the areas to be plowed.	



Existing Site

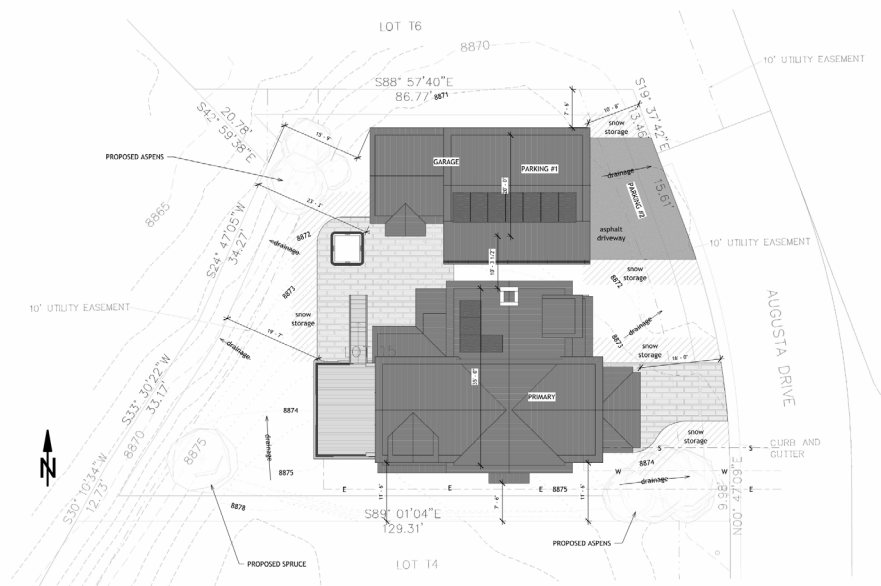


Water System



Wastewater System

LEGEND	
NEW CONTOUR	—
OLD CONTOUR	- - -
DRAINAGE	←
WATER	W
SEWER	S
GAS	G
ELECTRIC	E
TELEPHONE	P
CABLE	C
PROPERTY BOUNDARY	—
BALANCE ENVELOPE	—
OWNER MARK	•
ASPHALT	▨
SNOW STORAGE	▨
REVEGETATED AREA	▨
SPRING SNOW GRAVITY	⊙
ROCKY MOUNTAIN MAPLE	⊙
NARROW LEAF COTTONWOOD	⊙
ASPER	⊙
EVERGREEN	⊙
DECIDUOUS SHRUB	⊙
EVERGREEN SHRUB	⊙



1 Site
1/8" = 1'-0"

Proposed Site plan



b. **Mass, scale and form:** Refer to GL 4.32-4.34

The proposed building resembles the T- shape forms with secondary appendages. The module with the N/S ridge (23’6”) serves as the primary module. This module steps down 11” to another N/S ridge (15’). There is also a gable module which steps down from the N/S ridge (6”). The N/S gable ridge is 45’5” and is broken by the chimney and the E/W gables. The north module stepping down to the side (north, 11”) conveys contemporary scale and forms relational with historic resources per GL 4.34 (b).

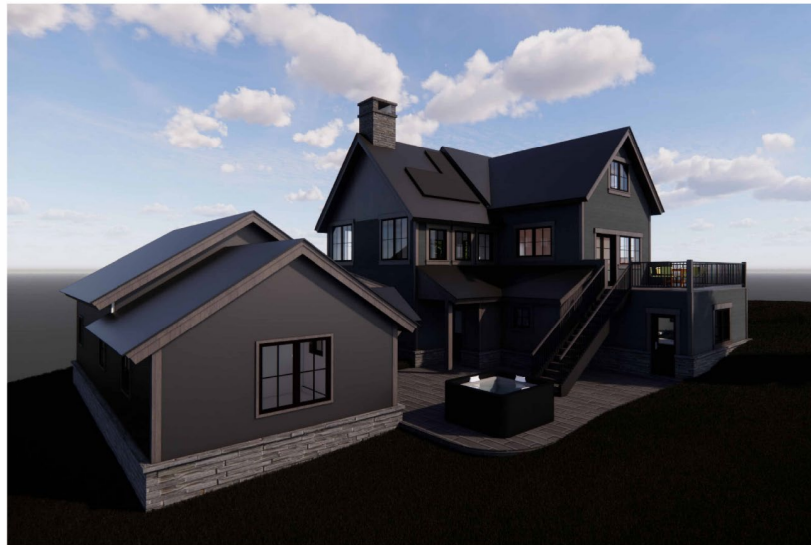
GL	Staff Analysis	DRC Recommendation
4.33-4.34	Consideration of whether the forms achieve relationships with historic buildings are in GL 4.33 and 4.34. 3D drawings are helpful to assess this.	Support
4.34 Discernable primary module	The front module, encouraged to be the discernable primary module appears to be met per GL4.34.	Support



Southeast perspective



Northeast perspective



Northwest perspective



Southwest perspective

c. Design and Style: Refer to GL 4.35-4.40

GL	Staff Analysis	DRC Recommendation
4.35	Discussion of whether overall building forms appear as a product of their own time while relating with historic forms seen in town is encouraged. Staff finds compliance.	Support
4.36-4.37	Discussion is encouraged as to whether the design of the home relates with the overall styles within the neighborhood or appears incongruent or can be seen as a contemporary interpretation.	Support

d. Roof forms: Refer to guidelines *4.41-4.45.

GL	Staff Analysis	DRC Recommendation
4.41	The gabled roof forms (12:12) are symmetrical and appear consistent with the intents of 4.41.	Support
4.42 Shed roofs 4.43 Mixing roof styles	The use of the shed roof (6:12) on the east, north, and south seem consistent with this GL. General support.	Support
4.44 Ridge lines	The 23'6" ridge (including overhangs)) stepping down in the front/rear (East/West) 6" meets the intent of GL 4.44 a.	Support
4.45 Roof pitches	Roof forms of the primary module employs a 12:12 pitch, as encouraged in 4.45. Consider whether the lower pitch	Support



	of the side shed modules (6:12) are effective in providing acceptable variations or if they add complexity. Consult GL 4.45 and 4.35 (contemporary interpretation). Staff finds compliance.	
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e. **Porches/Balconies:** Refer to guidelines *4.49-4.52

GL	Staff Analysis	DRC Recommendation
4.49 Covered porches	The entry porch on the East is a shed with a large gable cricket for the entry, as encouraged by the GL.	Support
4.50 Mix of porch styles	The entry porch measures 6'x18' which complies with the intents of GL 4.50 b encouraging a depth of four feet.	Support
4.51 Rear porches	The east covered porch is a simple shed, which is consistent with the intents of this GL.	Support
4.52 Second and third story decks	The rear (west) deck meets requirements of this GL.	Support





f. **Dormers/Skylights:** Refer to guidelines *4.46-4.48

GL	Staff Analysis	DRC Recommendation
4.46 Dormers in new construction	South gable: There is a dormer proposed on the south elevation of the building. It is a gable dormer. Staff finds support.	Support
4.47 Dormers	<p>South gable: The dormer steps down 7" from the ridge of the module.</p> <p>a. South gable: The dormer, as proposed occupies 24.6% of the roof, which appears to comply with the GL requirement of 30%.</p> <p>b. South gable: The dormer is lower than the ridge. There is roof proposed below the dormer.</p> <p>c. South gable: The dormer, as proposed occupies 24.6% of the roof, which appears to comply with the GL requirement of 30%.</p> <p>d. South gable: NA</p> <p>e. South gable: NA</p>	Support
4.48 Skylights	NA	NA



g. **Windows:** Refer to Guidelines 4.53-4.63.

GL	Staff Analysis	DRC Recommendation
4.53 Window to wall ratio	<p>Window to wall ratios along the front elevation (east) proposes 159.99 sf of glazing/ 782.05 sf wall space, which is 20.4% window to wall. This is right at the 10-20% that is generally seen.</p> <p>The first floor presents a two pack, two single windows and door glazing (63.67 sf), there is one three pack and a two pack of windows on the second floor (74.58 sf). There is a two pack of windows in the gable.</p> <p>Discussion is encouraged to determine if the proposed meets the intents of 4.53 a and b. The first floor to second floor fenestration ratio appears to violate 4.53 a.</p> <p>The north elevation proposes one two pack, two single windows and door glazing on the first floor and three, two packs on the second floor.</p> <p>The rear (west) elevation proposes one two pack on the first floor and three single windows, one two pack and door glazing on the second floor. There is a two pack of windows in the gable.</p> <p>The south elevation proposes two single windows and two, two packs of windows on the first floor and six single windows on the second floor. There are two, small windows in the gables.</p>	



4.54 Vertical emphasis	Windows are proposed as two over two, casement, simulated divided light windows which is consistent with historic homes, which is supported by GL 4.54 a. Window operations have been noted on the plans.	Support
4.56 Window material	Aluminum clad (bronze) windows are noted on the materials list. General support.	Support
4.57 Fenestration pattern	<p>There appears to be 12" to exterior corners, as required by the GL.</p> <p>The windows on the south elevation on the western deck module appear low due to grade. It is recommended that sills or headers match up to help be consistent.</p> <p>The windows in the front (east) shed module appear to break the floor plane, which is highly visible. Headers for the windows are encouraged to be consistent with windows to the south on the second floor.</p>	Support
4.58 Groupings of 2 or more windows	The three pack of windows on the east must be separated by 3.5" of trim and cannot be mulled per 4.58 a. Right now, it is shown as 3".	
4.58 c. Window sizes	<p>There are four window sizes on the front (east).</p> <p>There are not more than six window sizes for other elevations.</p>	
4.59 Window and door trim	There is a wood trim noted for windows. Support. Sizing of trim must be confirmed.	
4.60 Divided lights	Simulated divided lights are noted on the materials list. Support	
4.61 Transom windows	NA	
4.63 Window Wells	NA	



h. **Doors:** Refer to GL 4.64-4.69.

GL	Staff Analysis	DRC Recommendation
4.64 Primary door	The primary door faces the street. Support.	Support
4.65 Primary door	The primary door is proposed as ½ light in wood (natural brown). Support.	Support
4.66 Secondary doors	There two half-light wood door on the north, metal clad (bronze). This meets the intents of GL 4.66. There is a full light French door on the second floor deck on the rear (west), thus complying with GL 4.66 e.	Support

i. **Lighting:** Refer to GL 2.37-2.40.

GL	Staff Analysis	DRC Recommendation
2.37 /4.74 Exterior lighting	Lighting has been identified and is in compliance with the night sky ordinance.	1/12 DRC: Add information to the plans. Information has been added.

j. **Materials:** Refer to GL 4.75-4.83.



45 Augusta Drive Lot -T5

Siding:



Benjamin Moore - Hamilton Blue



Dry Stack Stone - Natural

Roof:



Standing Seam - Bronze



Standing Seam - Charcoal Grey



Corrugated Metal Grey Zinc Matte

The building proposes a random width vertical wood siding (gray/brown mix); confirm sizing in the gables. The main body of the building is an 8" horizontal wood siding painted (gray/blue). There is an 18" wainscot and chimney of dry stack stone (natural).

The roof is a standing seam (bronze).

Trim is noted as wood (grey barnwood), confirm sizing. A 2"x10" fascia (grey barnwood) and 2"x4" frieze (grey barnwood). Wood corner trim (to match siding) is noted.

The primary door is proposed as ½ light in wood (natural brown). There are two half light doors on the north metal clad (bronze). There is a French six light, full light door on the west, which is metal clad (bronze).

Windows are proposed as aluminum clad, casement windows with simulated divided light, (dark bronze).

There is a wood truss and columns noted at the entry (grey brown); 8"x8". There are 8"x 8" wood columns noted for the porches (grey brown). There are 6"x6" wood braces on the shed roof to cover the heat pump (grey barnwood).

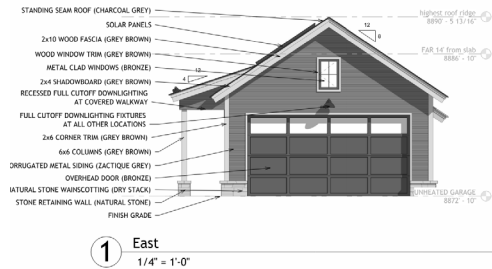
The rear deck calls out metal spindles with wood top cap. Sizing details must be confirmed.



GL	Staff Analysis	DRC Recommendation
4.71 Chimney	The top is 3'7", as seen from the north. The top is 3'9" as seen from the front (east). The chimney exits from the ridge as asked for in the GL.	Support
4.72 Eaves and overhangs	The proposed appears to meet the intents of this GL.	Support
4.75 Exterior materials	Siding materials appear to meet the intents of this GL.	Support
4.75 e /4.80 a foundation treatment	The rock appears to meet the 18" height. Support	Support
4.75 e Metal materials	NA	NA
4.82 Roofing	The standing seam (bronze) roof is supported.	Support
4.83 Porch railing	Materials appear consistent, but all sizing must be confirmed.	Support

Accessory building mass/scale/form and placement (garage): Refer to GL 4.84-4.86, 4.89;
The proposed accessory building is an 20'x26' gable module. Then, there is a smaller 15'x16' gable module to the rear (west). The main module has a 8:12 pitch with a 4:12 shed roof on the south. This must be a cold building due to the size, as proposed.

GL	Staff Analysis	DRC Recommendation
4.84 Smaller in size	The proposed building is smaller in scale than the primary building, as requested by the GL.	Support
4.85 Rear of the site	This building is located on the north. The lot layout does not allow for the accessory to be in the rear/west portion of the lot. The building does sit back from the front plane of the primary building by roughly 14'5".	Support
4.86 Vary appearance	This is the third accessory building within this zone. The proposed accessory appears to vary in appearance to the prior proposed accessory in the neighborhood.	Support
4.89 d. porches	The small, covered entry for this building can be supported.	Support



a. Accessory building windows: Refer to GL4.53-4.63, 4.89;

GL	Staff Analysis	DRC Recommendation
4.53; 4.89 AB fenestration	<p>The east (front) elevation proposes on gable window and garage door windows.</p> <p>The south elevation proposes one single window and door glazing.</p> <p>The west elevation proposes a two pack of windows. These windows now incorporate divided lights to match the remainder of the building.</p> <p>The north elevation proposes three single windows. Support.</p>	1/12 DRC: Support with the inclusion of divided lights on the west. This has been revised.
4.54 Vertical emphasis	Windows are proposed as two over two casements with simulated divided lights.	1/12 DRC: Support with the inclusion of divided lights on the west. This has been revised.
4.56 Window material	Windows are noted as aluminum	Support



	clad (dark bronze) to match primary building. Support.	
4.59 Trim	Wood trim (gray/brown) is noted. Sizing must be confirmed. Support	Support

b. Accessory building doors: Refer to GL –4.64-4.66, 4.68-4.69 4.90;

GL	Staff Analysis	DRC Recommendation
4.66 Secondary Doors	There is a half light person door on the south, which is metal clad (bronze). Support. There is a half-light person door on the south, metal clad (bronze). Support.	Support 12/8 DRC: Full Board discussion. French door was revised to a single door.
4.69, 4.90 Garage doors	There are garage doors proposed on the east. They are noted as overhead garage doors with a wood veneer (natural brown). Support.	Support

c. Accessory building materials: Refer to GL 4.82, 4.89

The building proposes a corrugated metal siding (zacktique gray). There is stone foundation cover with cap (natural brown).

Roofing is noted as standing seam (charcoal grey).

There will be wood trim (gray, brown) for windows and doors, sizing must be confirmed. Corner boards will be a 2"x6" (gray brown). Fascia is noted as 2"x10" (gray brown) and 2"x4" shadow board (gray brown).

Windows are noted as casements in aluminum clad (dark bronze) with simulated divided lights.

Garage door is an overhead with wood veneer (bronze). There is a ½ light person door on the south, which will be metal clad (bronze). There is a second full light French door on the south, which will be metal clad (bronze).

There will be wood 6"x6" posts and beams at porch (gray brown).

A stone retaining wall is proposed for the termination of the posts for the porch.

GL	Staff Analysis	DRC Recommendation
4.82 Roofing	Standing seam is supported for the roofing.	Support
4.89 c Simple design and details	The siding, as proposed, is supported relating to the materials, as this is a new zone. Discussion is encouraged to ensure that the horizontal application can	Support



	be supported rather than traditional vertical metal.	
4.75 Metal materials	The stone foundation exceeds height requirements on the west. However, this is a newer zone like the R1B zone on the west and south side of town and in these areas material heights and placements have been varied to date.	1/12 DRC: Members could support the higher foundation cover height on the rear due to this being a newer zone and the lack of visibility from the street.
4.90 Garage door	The garage door is proposed as wood, which meets the intents of this GL.	Support

VII. Overview of DRC findings:

- Overall support for the site plan.
- Overall support for mass/scale/form for primary and accessory building.
- Overall support for architectural appropriateness for the primary building and accessory building
- Overall support for materials for primary and accessory building.

VIII. Proposed findings and motions:

Finding (Architectural Approval)

The Board finds that the application of **Augusta Park Partners LLC** to site a single-family residence and one cold accessory building to be located at 45 Augusta Park Drive, Lot T5, Slate River Subdivision in the R1F zone **will not appear excessively similar nor dissimilar** or will appear excessively similar or dissimilar to residential structures within the surrounding neighborhood. The scale and forms of the home **are effective in incorporating** or are not effective in incorporating traditional forms seen within the surrounding R1F zone; and

(Accessory Building)

The cold accessory building (garage) appears subordinate in scale to the residence by reducing the overall mass on the site and convey relationships with historic styles. The architectural design of the buildings can be **supported** or cannot be supported based upon the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.84-4.86 (location and massing/forms, scale), 4.89 and 4.90 (materials) and _____.

The architectural design and style of the residence can be **supported** or cannot be supported per the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.32-4.34 (mass/scale) and 4.35 (contemporary interpretation), 4.41-4.45 (roof form/scale), 4.49-4.52 (porches), 4.53-4.63 (windows), 4.64-4.66 (doors), 4.72, 4.75-4.76, 4.82-4.83 (materials), with the following conditions:

- Final landscape plan should be provided to the building department for Chair review and sign off if changes are proposed during the construction phase.



- The natural average grade for the purpose of measuring FAR will be 8875'9" for the primary building. The natural average grade for the purpose of measuring FAR will be 8872' for the accessory building (garage).
- The following information must be added to the site plan:
 - Ground cover.
- Parking will be maintained and accessible on a year-round basis.
- Snow must be stored on the site or removed from the site. Snow may not be placed on the Town rights of way.
- The improvements will be constructed as per the approved plan on file at the Town offices.
- Requirements of the Colorado Model Electric Ready and Solar Ready code must be met prior to permitting, including EV ready parking space for the dwelling unit.

If approved by the Board, the approval is valid for one year from the approval date with a request for extension of up to three years administratively through Staff.

Motion (Architectural appropriateness)

Motion to **approve** or deny the architectural appropriateness for the application of **Augusta Park Partners LLC** to site a single-family residence and one cold accessory building to be located at the aforementioned address in the R1F zone (with any changes specified_____) and based upon the findings, and per the plans and material list.

Overview 01/12/2026 DRC

Members: Anderson and Davol

1. **Augusta Park Partners (45 Augusta Dr.): Staff:** Chris Penfield and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T5 in Augusta Park, which is the R1F zone. All zoning requirements are met. The following information must be included on the site plan: drainage, ground cover for disturbed areas, parking substrate and wet and dry utilities. Landscaping isn't included. Per GL 2.19 street trees are required. Solar panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Design and style of the proposed is supported by the GL. The east facing shed roof module appears atypical and discussion is encouraged. Windows appear to break floor plane. South gable dormer supported. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 19.8%, which is in the 10-20% usually seen. The fenestration is top heavy at 60.65 sf on second floor versus 72.14 sf on first floor. There is a three pack on the east elevation that must have 3.5" of trim and cannot be mulled, right now it is shown at 3". There are five window sizes on the front, GL allow for 4. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the north. The orientation of this lot precludes the allowance of placing the AB in the rear. The building steps back 14'5" from the primary building. There are other examples similar to this situation. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. There are two doors on the south, two single half light. The French door was removed. Staff finds support for all other elements of the building, as proposed.

Hadley and Penfield walked through site plan and elevations and changes. On the east elevation, they revised windows to ensure that there were only four sizes. They removed the French door from the AB. There are trees included on the east and west (aspen and spruce). The driveway is proposed as asphalt.

Site plan: Support

East: Support for fenestration

Lighting to be added

North/West/South: support. Deck posts to be added.

AB: Foundation cover height was discussed and it could be supported because it was not street facing.

Plans to be submitted by Friday for inclusion in 1/27 BOZAR packet.

2. **Augusta Park Partners (31 Augusta Dr.): Staff:** Kyle Ryan and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T4 in Augusta Park, which is the R1F zone. The height of the accessory building exceeds the 20' requirement. This must be measured from natural grade as a blanket not average. All zoning requirements are met. Trees have been moved out of utility easement on the southeast corner of the lot. Solar

panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Discussion is encouraged regarding what module is the primary module and if this meets requirement of GL 4.34 b with the change to the front module. Design and style of the proposed is supported by the GL. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 20%, which is in the 10-20% usually seen. The fenestration is slightly larger at 61.7 sf on second floor to 60.1 sf on the first floor. Discussion is encouraged to determine if this meets intents of the GL. There are window wells proposed on the east, north and south. The east proposed window well should be discussed per GL 4.63 to determine if it can be supported with the shed roof addition. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the west. This building is located in the rear. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. Windows now include divided lights. Staff finds support for all other elements of the building, as proposed.

Hadley and Ryan walked through the site plan and elevations to explain revisions. The height of the AB will be looked at. They pulled up the east ridge and the north/south ridge came down slightly to respond to December DRC's concerns. Chimney was pulled out 6" per comments from December DRC. The pavers changes a little and were reduced.

Site plan: Anderson thought that the amount of pavers might be excessive. Earley will provide comparisons to previous reviews/approvals in this area for the BOZAR meeting.

Trees will be shifted from the edge of the patio.

East: The front door was increased in size slightly and this will change the first floor to second floor calculation. Earley will revise this.

South: support

West: add lighting

Decking details: A center wood newel is included on the deck and then there will be secondary metal newels, double metal top rail.

Chimney: support

Anderson asked them to show operability for folding doors.

Plans to be submitted by Friday for inclusion in 1/27 BOZAR packet.

Overview 12/8/2025 BOZAR

1. Augusta Park Partners (45 Augusta Dr.): Chris Penfield and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T5 in Augusta Park, which is the R1F zone. FAR is noted in the staff report as out of compliance for the primary building and overall. All other zoning requirements are met. Snow storage and parking must be included on the site plan. The topography is included, but hard to read please include callouts as they relate to each building. Natural grade lines should be included on elevations and sections to confirm height requirements. The following information must be included on the site plan: drainage, ground cover for disturbed areas, parking substrate and wet and dry utilities. Landscaping isn't included. Per GL 2.19 street trees are required. Solar panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Design and style of the proposed is supported by the GL. The east facing shed roof module appears atypical and discussion is encouraged. It doesn't meet definition of dormer. Windows appear to break floor plane. South gable dormer supported. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 20.4%, which is in the 10-20% usually seen. The fenestration is top heavy at 69.76 sf on second floor versus 56.94 on first floor. South windows appear low to the ground, which may be due to grade. There is a three pack on the east elevation that must have 3.5" of trim and cannot be mullied. There are five window sizes on the front, GL allow for 4. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the north. The orientation of this lot precludes the allowance of placing the AB in the rear. The building steps back 14'5" from the primary building. There are other examples similar to this situation. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. There are two doors on the south, one single half light and one full light french, which complicates what should be a cold shed. Staff finds support for all other elements of the building, as proposed.

12-8-25 DRC:

Donny Davol

Review site plan-

Fixed FAR with elevated deck staircase going straight down and made the house slightly smaller to get e-deck <10%

-House moved slightly to east so there is now a 16' set back on primary, 10'5" on accessory

-Floor levels were brought down as well

-label parking on floor plan and site plan

-may remove solar due to lack of solar gain on this site- they will continue to model and work on their HERS score and see where they come out on this.

- snow storage, utilities, etc need to be added to site plan
- Will plan to come back to January (first) DRC
- change windows on east elevation (front) to make the downstairs two pack same size as the second story three pack
- Donny does not have an issue with east facing shed roof module. 113 Fourth is similar.
- Bring the window break/roof break to Board for discussion (or second DRC). Maybe match sill but keep header. Work to get the windows to look more cohesive.
- working on a streetscape for the new 4 proposed projects
- 18" retaining wall off of accessory building to keep snow shed out from accessory door
- French door on accessory building- it is interior so faces primary building. They will bring a back up door plan.
- the retaining wall is currently shown in stone, but could be changed to metal to tie into remainder of wainscotting on accessory
- Discuss option for breezeway between a cold accessory and a heated accessory (all count towards same FAR)
- 2"x8" header over three pack on east elevation, 2"x6" trim
- Check FAR with Chris via Zoom prior

Plan on January 12 for DRC- need packet by December 29th

1. Augusta Park Partners (31 Augusta Dr.): Kyle Ryan and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T4 in Augusta Park, which is the R1F zone. The height of the accessory building exceeds the 20' requirement. All zoning requirements are met. Parking must be included on the floor plan. Natural grade lines should be included on elevations and sections to confirm height requirements. Trees must be moved out of utility easement on the southeast corner of the lot. Solar panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Discussion is encouraged regarding what module is the primary module and if this meets requirement of GL 4.34 b. Design and style of the proposed is supported by the GL. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 20%, which is in the 10-20% usually seen. The fenestration is slightly larger at 61.7 sf on second floor to 60.1 sf on the first floor. Discussion is encouraged to determine if this meets intents of the GL. There are window wells proposed on the east, north and south. The east proposed window well should be discussed per GL 4.63 to determine if it can be supported with the shed roof addition. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the west. This building is located in the rear. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. Windows do not include divided lights as required by the GL. Full light windows are not supported. Staff finds support for all other elements of the building, as proposed.

- make sure to include natural grade lines on site plan
- Permeable pavers called out on site plan but perhaps an area for Board discussion
- Trees to be removed from southeast corner easement
- Talk to Shea about lift station, etc
- Discernable primary module? Which one is the primary, as outlined by the GL
- Discussion re: east elevation window well
- Accessory windows to be updated as divided lite
- New site plan: moved primary building to east 8' to put it 12' feet off of Augusta
- pulled garage 5' feet east (which will help with the height of the accessory)
- leaves 13' feet in between accessory and primary (back stairs)
- Primary ridge is running north south so it is that back one. Pull front ridge up to meet that north south ridge and drop the rear east west rear line. Potentially bring middle gable on east elevation up to same elevation as north south ridge, then step back in rear (maybe foot up on east gable and foot down on west rear roof line)
- East (front) elevation- upper floor fenestration is slightly over, so change the door slightly
- East elevation window well- is kind of only place it can go. Could put it on north side but that would be lots of snow removal.
- Chimney seems fine- Kyle just needs to verify that the venting is two feet above 10' away
- Discuss color and material at January 12 DRC meeting
- 18" wainscotting from finish grade
- North elevation- chimney module- Kyle and Andrew want to push either stone or metal and see if Board will allow it
- West deck- 8"x8" posts on deck as primaries, 6"x6" in between then metal. Double top metal railing
- Corbels on awning roofs are all wood- 6"x6"
- Height of gable on north elevation- lot of vertical- maybe propose a band board to break it
- Accessory- great solar potential
- Will add divided lite windows to accessory
- Play with chimney
- Back for January 12 DRC

ACCESSORY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME Augusta Park Partners LLC

LEGAL Lot T5 Slate River Subdivision ZONE R1F

ADDRESS 45 Augusta Drive

TYPE OF STRUCTURE

- ☐ Accessory Building, heated and/or plumbed ☒ Accessory Building, cold
- ☐ Accessory Dwelling ☐ Addition ☐ Historic Rehab
- ☐ Other _____

ROOFING TYPE

- ☐ Shake Shingle ☐ Pro Panel style ☐ Galvanized, Corrugated Metal
- ☐ Milled Shingle ☒ Standing Seam ☐ 5-V Crimp
- ☐ Other _____

EXTERIOR FINISH

Siding

- | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|--|--|-----------------|--------------|
| <input checked="" type="checkbox"/> Horizontal | <u>Corrugated Metal Grey Zinc Matte finish</u> | | |
| <input type="checkbox"/> Vertical | _____ | | |
| <input type="checkbox"/> Other | _____ | | |
| <input type="checkbox"/> Stucco | _____ | | |
| <input checked="" type="checkbox"/> Trim | <u>2X6 Grey Brown</u> | | |
| _____ | | | |

☒ Fascia Wood 2X10 Grey Brown

☐ Corner Boards

DOORS

MATERIAL

STYLE

FINISH

Primary door Bronze

Secondary door Metal Clad Bronze

WINDOWS

Type:

- ☒ Casement
☐ Casement, egress
☐ Double hung
☒ Awning
☒ Fixed
☐ Slide-by

Style:

- ☒ Simulated, divided lite
☐ True, divided lite (historic)
☐ Decorative mullions
☐ Other

Material:

- ☐ Wood
☒ Aluminum clad, wood
☐ Other

Glazing:

- ☒ Low E
☐ Heat mirror
☒ Tempered
☐ Standard
☐ Other

Describe locations if a mix is used

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Roof - Standing Seam Charcoal Grey

Window Trim - Grey Brown, Metal Clad Windows - Bronze

Shadow Board - 2X4 Grey Brown

6X6 Columns - Grey Brown

Natural Stone Wainscotting (dry stack), Stone Retaining Wall - Natural Siding

Wood Brace - Grey Brown

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE

DATE Andrew Hadley
Digitally signed by Andrew Hadley
Date: 2024.12.27 13:57:59 -0700

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME Augusta Park Partners LLC

LEGAL Lot T5 Slate River Subdivision ZONE R1F

ADDRESS 45 Augusta Drive

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|--|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated
Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> 5-V Crimp |
| <input type="checkbox"/> Other _____ | | |

EXTERIOR FINISH

Siding

- | | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|-------------------------------------|-------------|-------------------------------|-----------------|--------------|
| <input checked="" type="checkbox"/> | Horizontal | Wood 8" Painted Hamilton Blue | | |
| <input type="checkbox"/> | Vertical | _____ | | |
| <input checked="" type="checkbox"/> | Other | Natural Stone Wainscotting | | |
| <input type="checkbox"/> | Stucco | _____ | | |
| <input checked="" type="checkbox"/> | Trim | Wood Matches siding | | |
| _____ | | | | |

☒ Fascia Wood 2X4 Grey Barnwood

☐ Corner Boards

DOORS

MATERIAL

STYLE

FINISH

Primary door 1/2 Lite Wood Natural Brown

Secondary door Metal Clad Bronze

WINDOWS

Type:

☒ Casement

☒ Casement, egress

☐ Double hung

☐ Awning

☐ Fixed

☐ Slide-by

Style:

☒ Simulated,
divided lite

☐ True, divided
lite (historic)

☐ Decorative
mullions

☐ Other

Material:

☐ Wood

☒ Aluminum
clad, wood

☐ Other

Glazing:

☒ Low E

☐ Heat mirror

☒ Tempered

☐ Standard

Other

Describe locations if a mix is used

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Chimney - Natural Stone

Roof - Standing Seam Bronze

Shadow Board - 2X4 Grey Barnwood

Windows - Metal Clad Bronze, Window & Door Trim - Grey Barnwood

Wood Truss at entry - Grey Barnwood, 8X8 Wood columns - Grey Barnwood

6X6 Wood Braces Grey Barnwood

Metal Spindles with wood top cap

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE

DATE Andrew Hadley

Digitally signed by Andrew Hadley
DN: cn=Andrew Hadley, o=BOZAR, c=US

45 Augusta Drive Lot -T5

Siding:

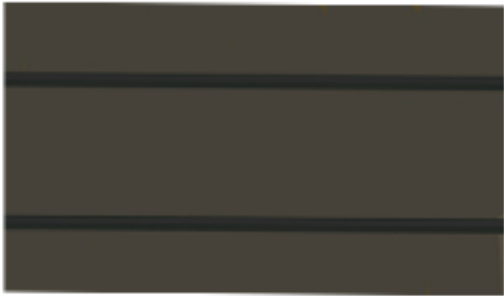


Benjamin Moore - Hamilton Blue



Dry Stack Stone - Natural

Roof:



Standing Seam - Bronze



Standing Seam- Charcoal Grey



Corrugated Metal Grey Zinc Matte

Division 12 - "R1F" Residential District

Sec. 16-4-1000. - Intent of district.

The purpose for which this District is created is to provide areas for low-density residential development along with customary accessory uses. The lots in this District provide a transition between the Town and the still larger residential lots outside of Town. Accessory uses naturally and normally incidental to, and exclusively devoted to such primary residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1010. - Permitted uses.

The following uses shall be permitted in the "R1F" District:

- (1) One-family dwelling units.
- (2) Accessory buildings, incidental nonresidential uses, not heated or plumbed.
- (3) Home occupations.
- (4) Attached garages.
- (5) Detached garages as accessory buildings to the principal permitted uses.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1020. - Conditional uses.

The following uses shall be permitted as conditional uses in the "R1F" District:

- (1) Accessory dwellings in conjunction with a one-family dwelling unit.
- (2) Two-family dwelling units.
- (3) Parking areas.
- (4) Accessory buildings, incidental nonresidential uses, heated.

(Ord. No. 8, § 2, 5-18-2020; Ord. No. 2, § 3(Exh. A), 3-6-2023)

Sec. 16-4-1030. - Lot measurements.

The following shall be lot measurements for property located in the "R1F" District:

- (l) Minimum lot area: Five thousand (5,000) square feet.
- (2) Maximum lot area: Eleven thousand four hundred (11,400) square feet.

- (3) Minimum frontage: Fifty (50) feet.
- (4) Minimum front yard:
 - a. Public street: Twenty (20) feet.
 - b. Private access road: Ten (10) feet.
- (5) Minimum side yard: At least seven and one-half (7½) feet, and up to eleven and one-half (11½) feet, dependent upon snow storage and snow shed guidelines.
- (6) Minimum rear yard:
 - a. Principal building: Ten (10) feet.
 - b. Accessory building: Five (5) feet.
 - c. Wetland setback: Seven and one-half (7½) feet.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1040. - Floor areas.

The following shall regulate measurements for floor areas located in the "R1F" District:

- (1) Minimum floor area: Four hundred (400) square feet for each residential unit.
- (2) Maximum floor area:
 - a. Accessory building, including an accessory dwelling, if any: one thousand (1,000) square feet or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.
 - b. Accessory dwelling: one thousand (1,000) square feet of floor area or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.
- (3) Maximum floor area ratio:
 - a. The principal building shall not exceed two thousand eight hundred (2,800) square feet.
 - b. All buildings shall not be larger than three thousand eight hundred (3,800) square feet in the aggregate.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1050. - Building measurements.

The following shall regulate measurements for buildings located in the "R1F" District:

- (1) Maximum building height:
 - a. Principal building: Thirty (30) feet.
 - b. Accessory building: Twenty (20) feet or the height of the principal building, whichever is less.
 - c.

Accessory dwelling: Twenty-four (24) feet or the height of the principal building, whichever is less.

(2) Maximum building width: Thirty-five (35) feet.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1060. - Additional provisions.

- (a) Primary and accessory residential buildings shall be oriented on a north-south or east-west axis.
- (b) Open space required: Fifty percent (50%) of the lot area shall be open, unencumbered and free of any building or structure.
- (c) Minimum exterior wall height shall be seven (7) feet.
- (d) Minimum vertical distance from eave line of roof to the finished grade level shall be six (6) feet.
- (e) Slope of roof shall be a minimum of 4:12.

(Ord. No. 8, § 2, 5-18-2020)