



NOTE: RENDERINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

PROPERTY ADDRESS

322 MAROON AVE
CRESTED BUTTE, CO 81224

LEGAL DESCRIPTION

TRACT 3; BLOCK 22

APPLICABLE CODES

THE FOLLOWING ARE THE ARCHITECT'S UNDERSTANDING OF THE CURRENTLY ADOPTED CODES OF THE TOWN OF CRESTED BUTTE, INCLUDING LOCAL AMENDMENTS:

- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2021 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL FIRE CODE

AREA TABULATIONS

	EXISTING	PROPOSED	GARAGE/ADU	UNCOUNTED
FIRST FLOOR	987	987+715	416	0000
SECOND FLOOR	217	217+84	395	0000
BASEMENT	0000	0000	0000	1106
SHED	220	220	0000	0000
TOTAL	1424	1985	811	1106

INSULATION SCHEDULE - CLIMATE ZONE 7

	R10	R15/19	R38	R5+20	R49
SLABS	●				
BASEMENT WALL		●			
CRAWLSPACE WALL		●			
FLOORS			●		
WALLS				●	
CEILING/ROOF					●

INSULATION NOTES

- WOOD FRAME WALLS CAN BE R20 W/ R5 CONTINUOUS OR R13 W/ R10 CONTINUOUS
- BASEMENT AND CRAWLSPACE WALLS CAN BE R19 ON THE INTERIOR CAVITY OR R15 CONTINUOUS INSULATION ON THE EXTERIOR OR INTERIOR
- DUCT INSULATION TO BE R8 MINIMUM IF LOCATED OUTSIDE OF CONDITIONED SPACE
- HOT WATER PIPE INSULATION TO BE R3 MINIMUM ON PIPES 3/4" OR LARGER IF LOCATED OUTSIDE OF CONDITIONED SPACE
- CONTRACTOR TO PROVIDE WEATHER STRIPPING AND INSULATION TO ACCESS HATCHES & DOORS LEADING TO ATTIC AND CRAWLSPACE
- REFER A5 FOR FENESTRATION REQUIREMENTS

REVISION LOG

REVISION NO.	REVISION DATE	REVISION NAME
-	00.00.0000	REVISION 00

INDEX OF DRAWINGS

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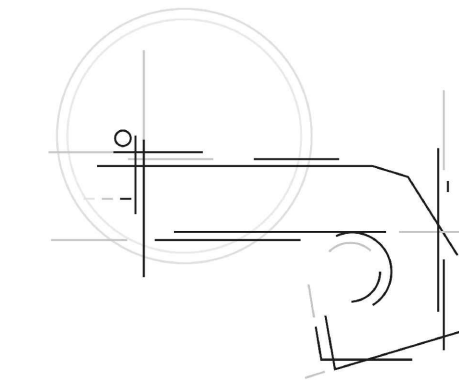
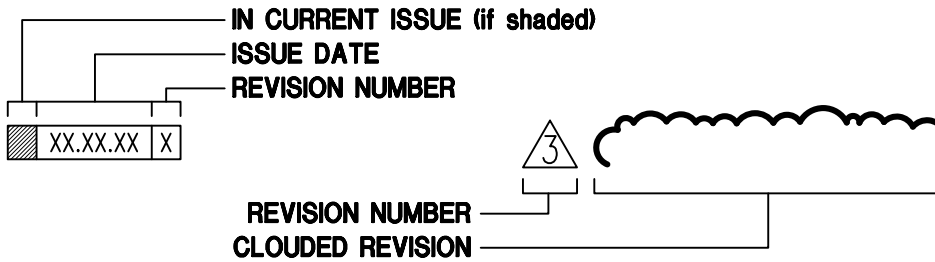
ELECTRICAL

	E2.00	ELECTRICAL NOTES & SCHEDULE
	E2.01	FIRST FLOOR LIGHTING & ELECTRICAL PLAN
	E2.02	SECOND FLOOR LIGHTING & ELECTRICAL PLAN

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	S2.01	FOUNDATION PLAN
	S2.02	SECOND FLOOR & ATTIC FRAMING PLANS
	S2.03	ROOF FRAMING PLANS / DETAILS
	S3.01	FRAMING DETAILS
	S3.02	FRAMING DETAILS

DRAWING ISSUE:



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322 MAROON AVE
BLOCK 22; LOTS 3-6
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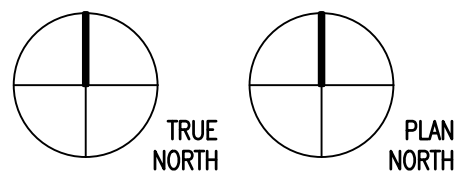
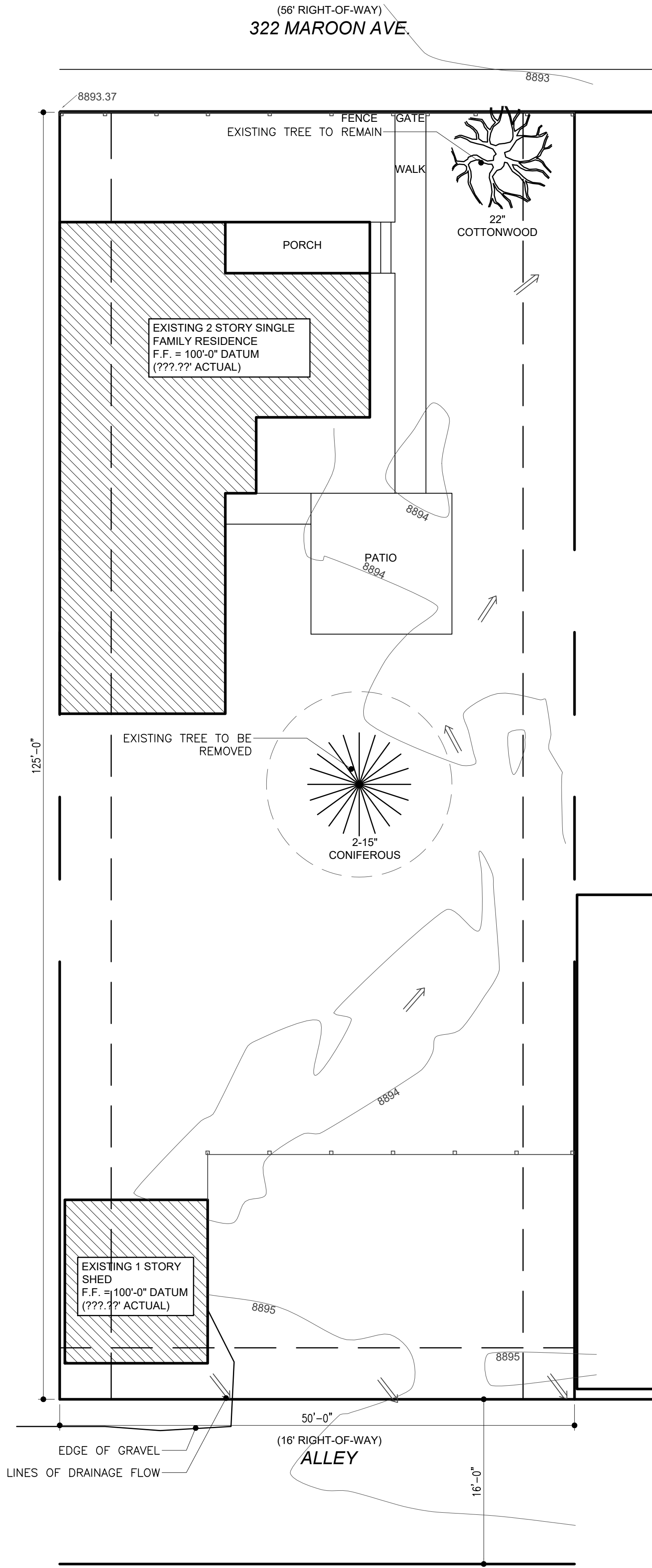
Design Review
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JJARCH PROJECT #
25-002

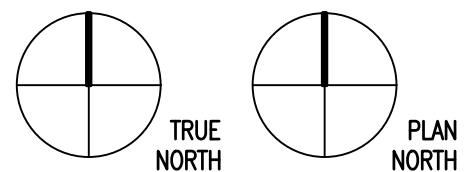
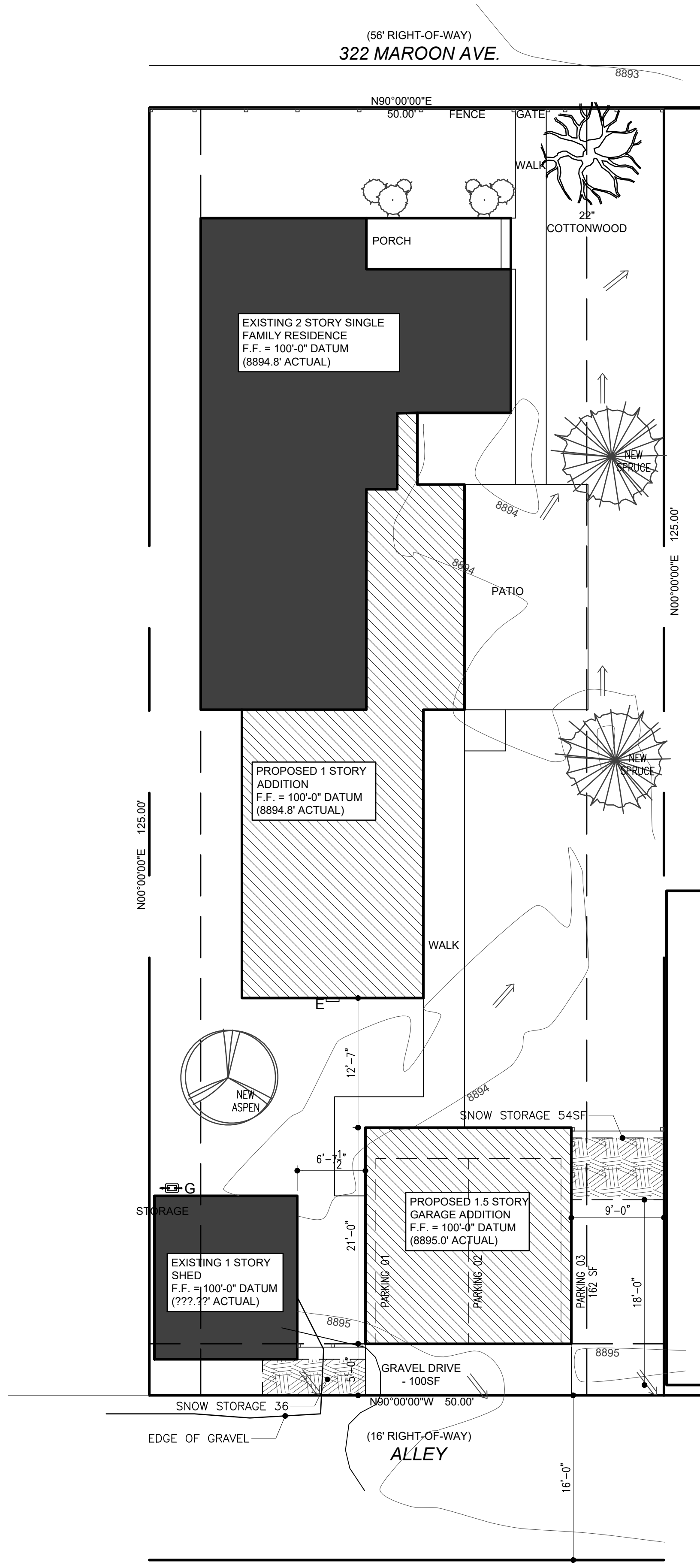
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COVER SHEET /
INDEX

A1.00



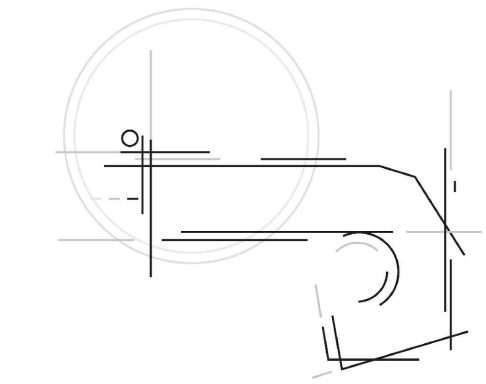
01 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



01 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN NOTES

1. REFERENCE LANDSCAPE ARCHITECT FOR SITE DRAINAGE
2. REFERENCE LANDSCAPE ARCHITECT FOR SITE IMPROVEMENTS
3. DRIP EMITTERS TO BE INSTALLED AT ALL BEDDING AREAS
4. WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY



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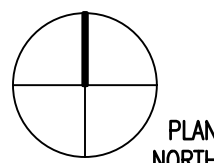
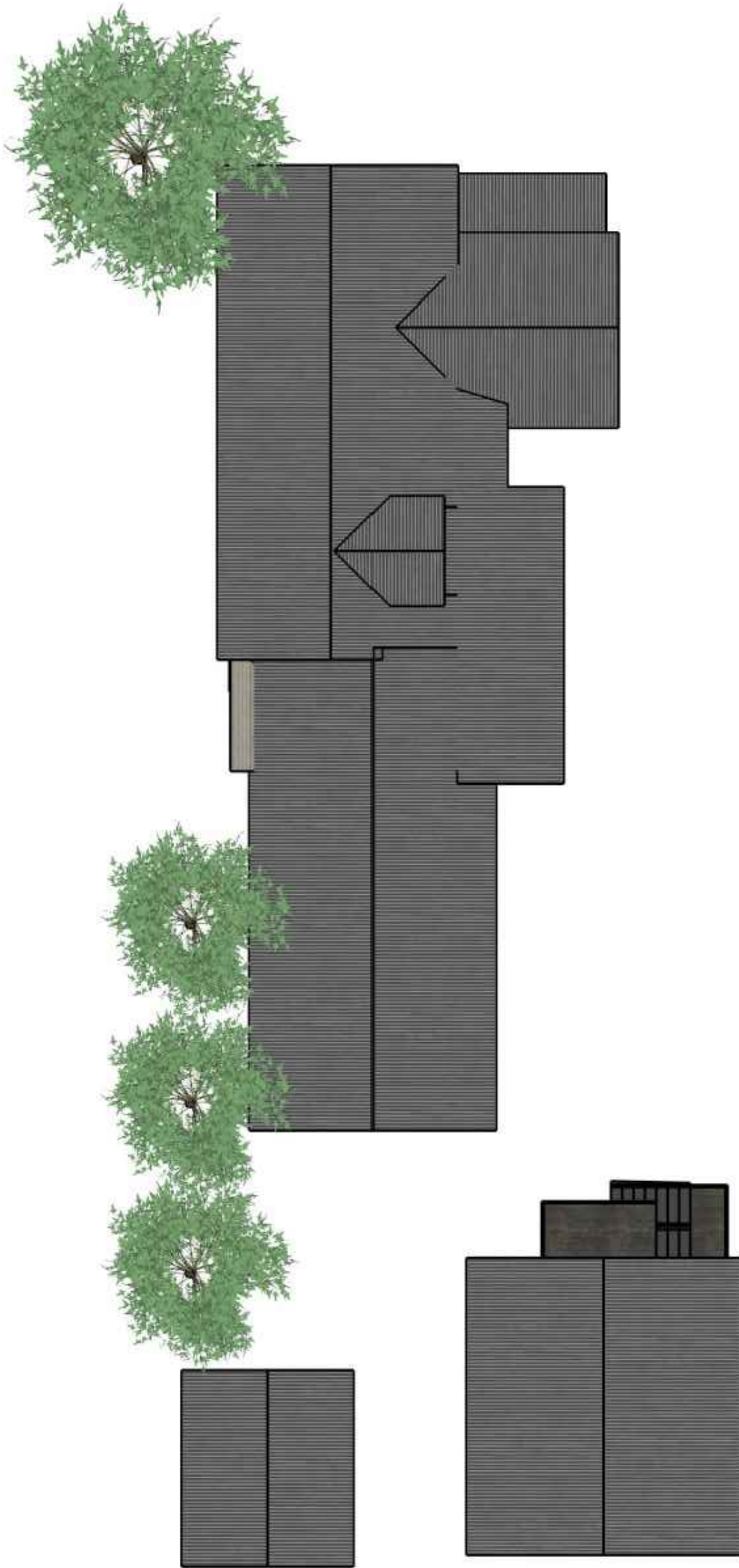
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SITE PLAN / ROOF PLAN

A1.02



01 ROOF PLAN

SCALE:

1/8"=1'-0"

ROOF PLAN NOTES

- GUTTERS TO BE 6" DIAMETER HALF-ROUND PAINT GRIP W/ 4" DOWNSPOUT
- ALL DOWNSPOUTS TO BE ROUTED TO SUBSURFACE FOR DRAINAGE
- ARROWS INDICATE DOWNWARD SLOPE OF ROOF

ROOF PLAN LEGEND



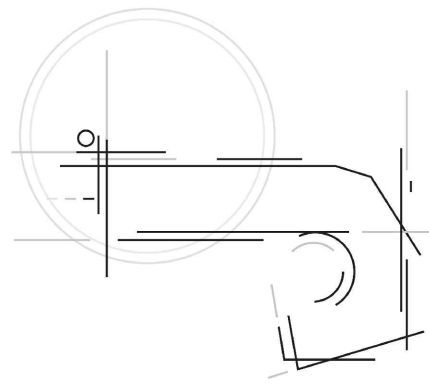
RT-1A



RT-2A



MT-1A



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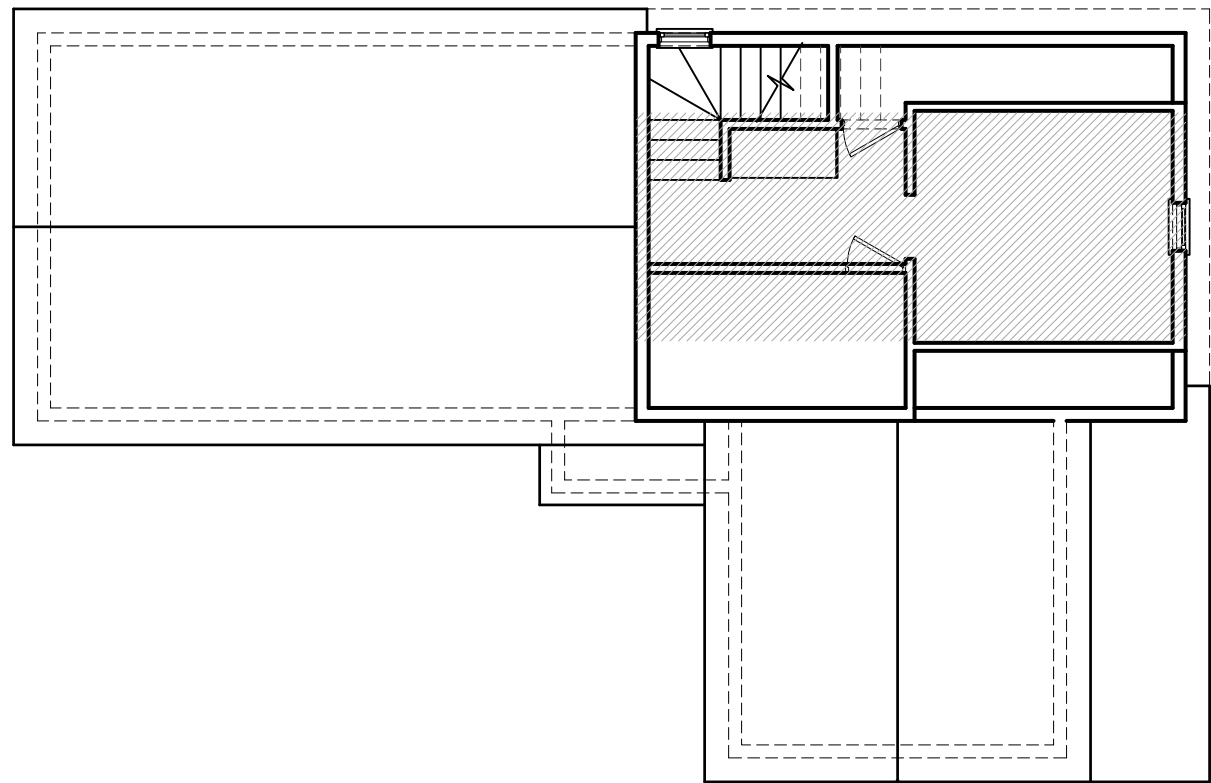
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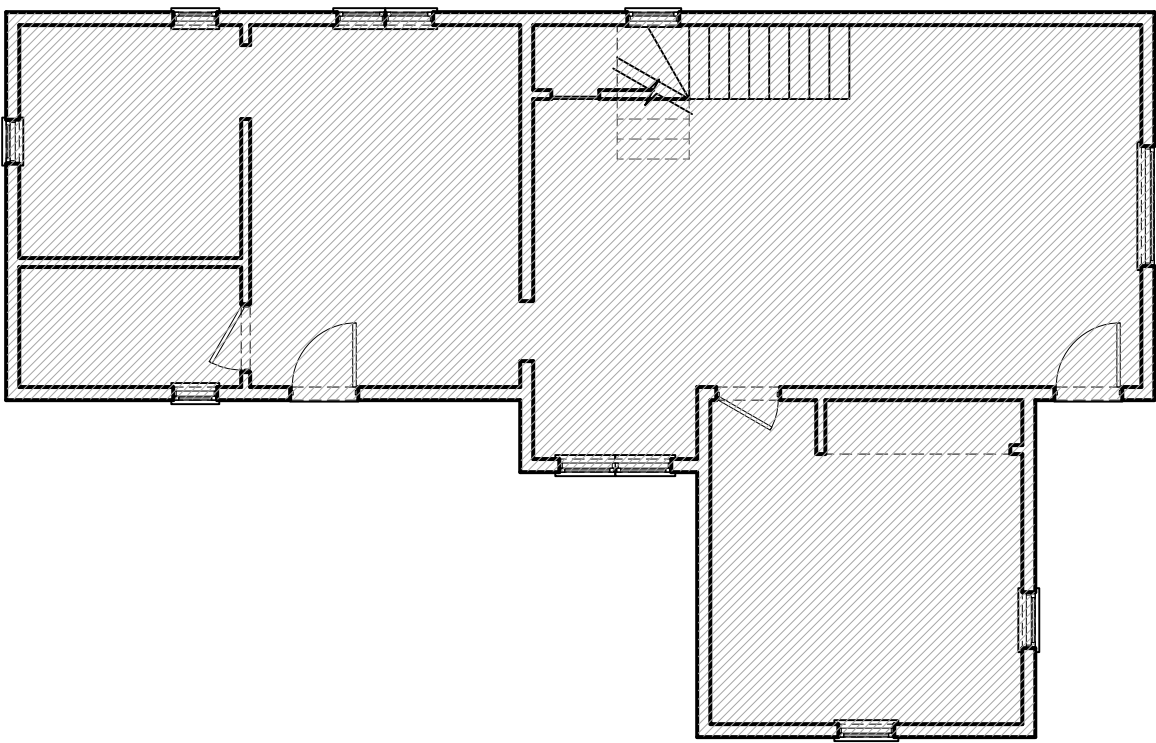
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SITE PLAN / ROOF PLAN

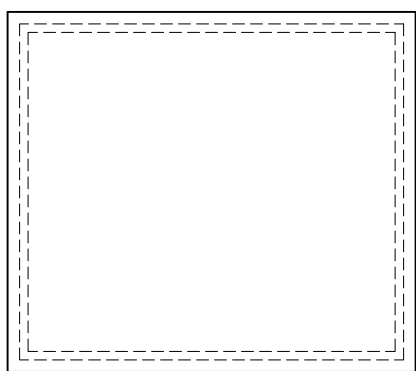
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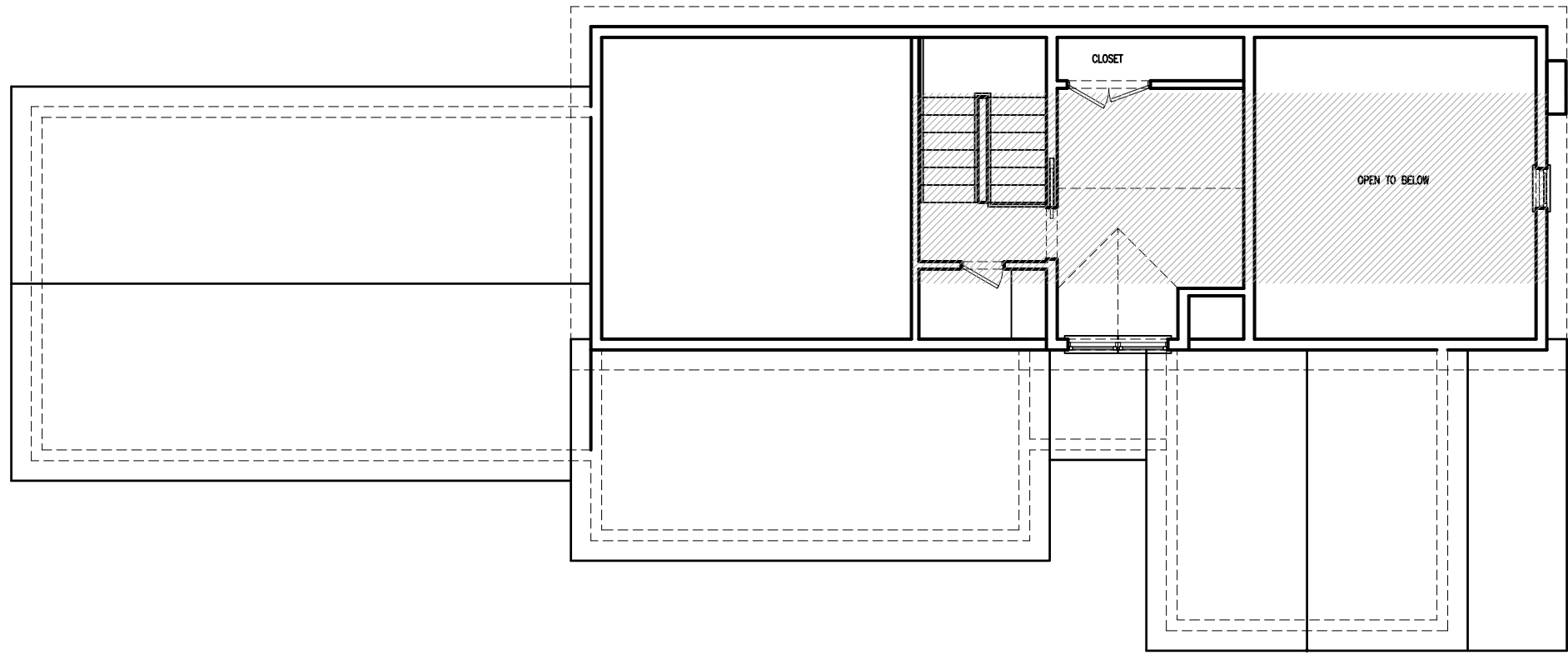
EXISTING 217 SF



EXISTING 987 SF



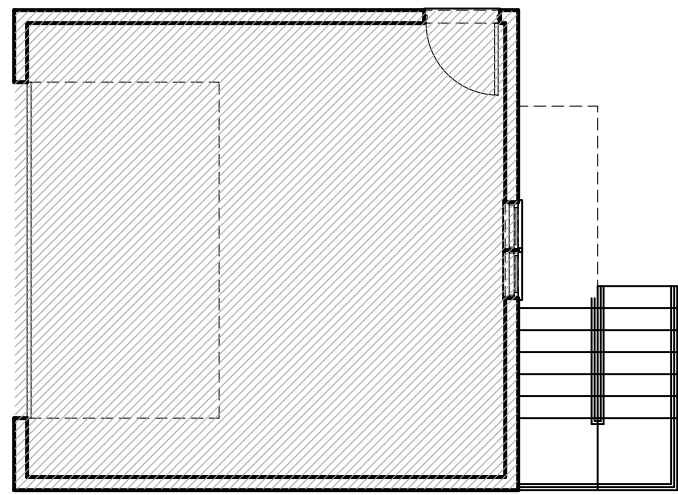
ADU 395 SF



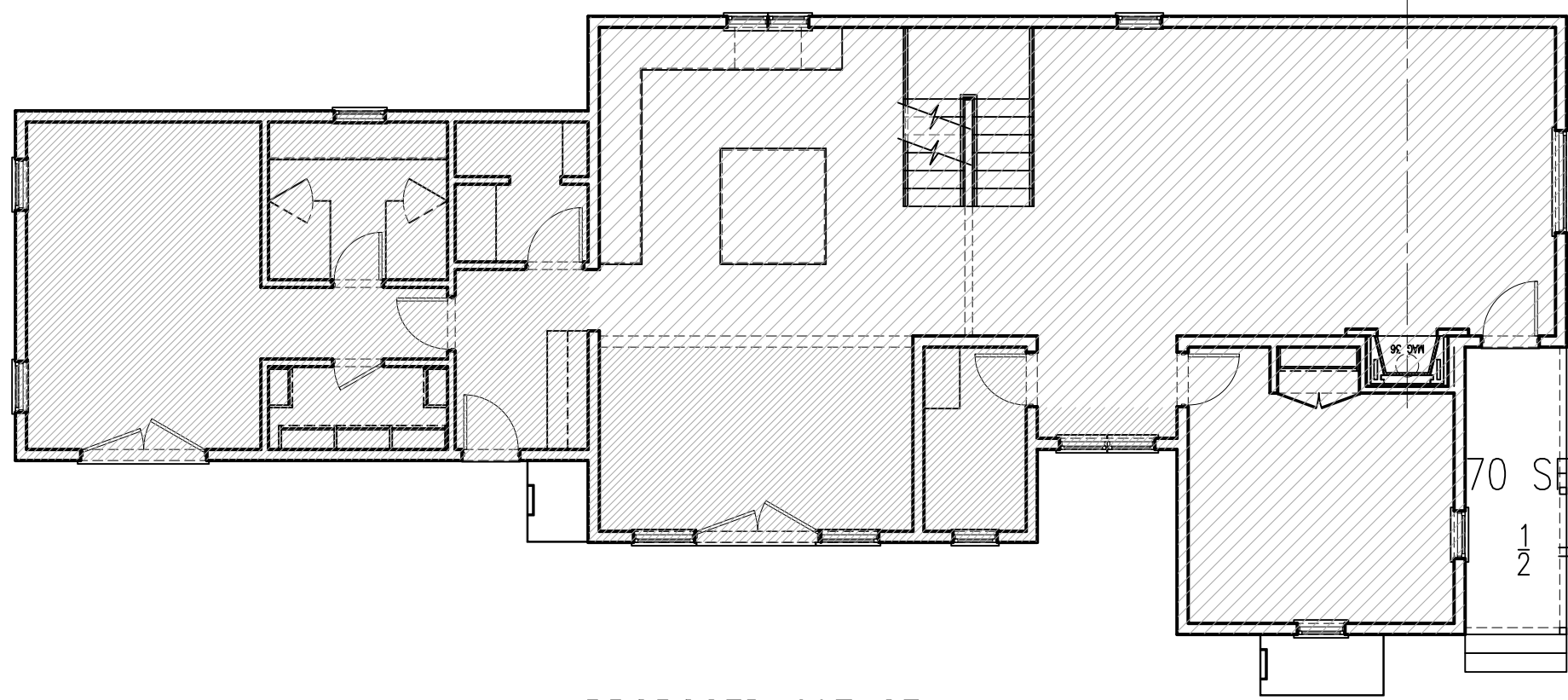
PROPOSED 301 SF



SHED 220 SF



GARAGE 416 SF



PROPOSED 697 SF

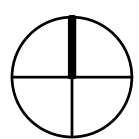
PROPOSED PRIMARY
First floor: 1684
Second flr: 301
TOTAL: 1985

PROPOSED GARGE/ADU
First floor: 416
Second flr: 395
TOTAL: 811

PROPOSED BASEMENT
TOTAL: 1106

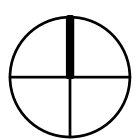
EXISTING SHED
TOTAL: 220

FAR FLOOR PLANS



02 SECOND FLOOR FAR PLAN

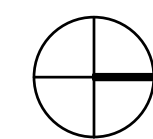
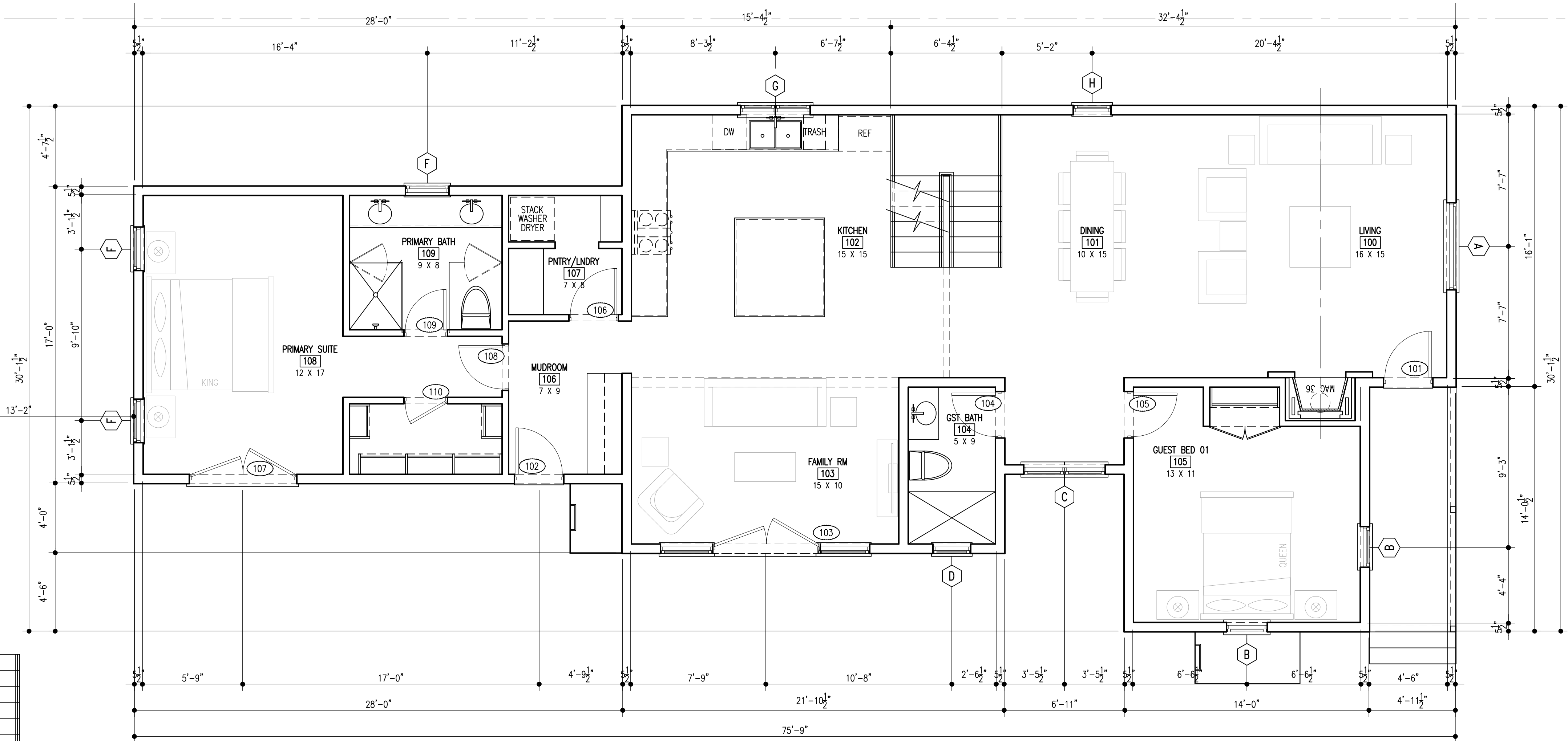
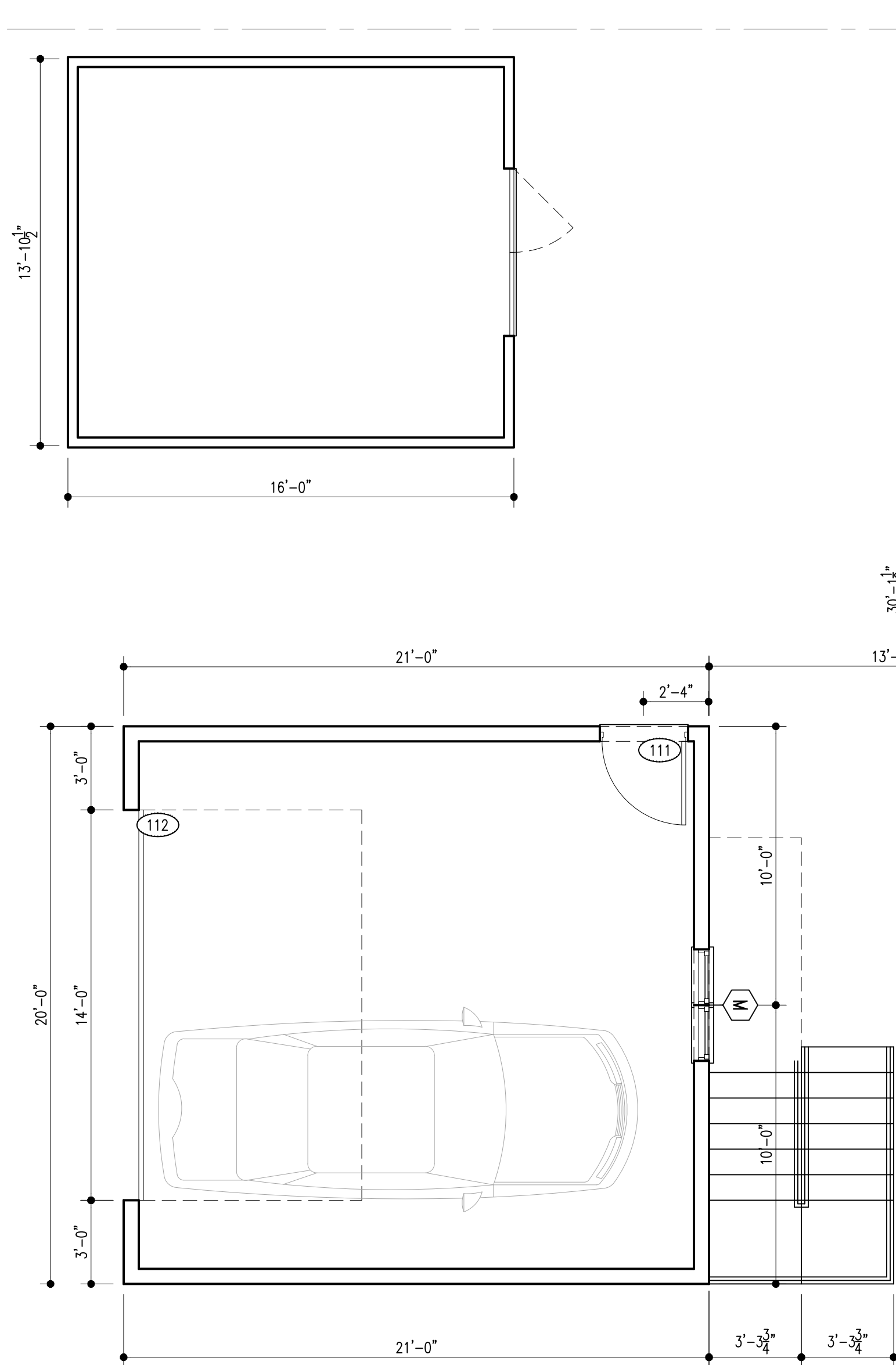
SCALE: 1/8" = 1'-0"



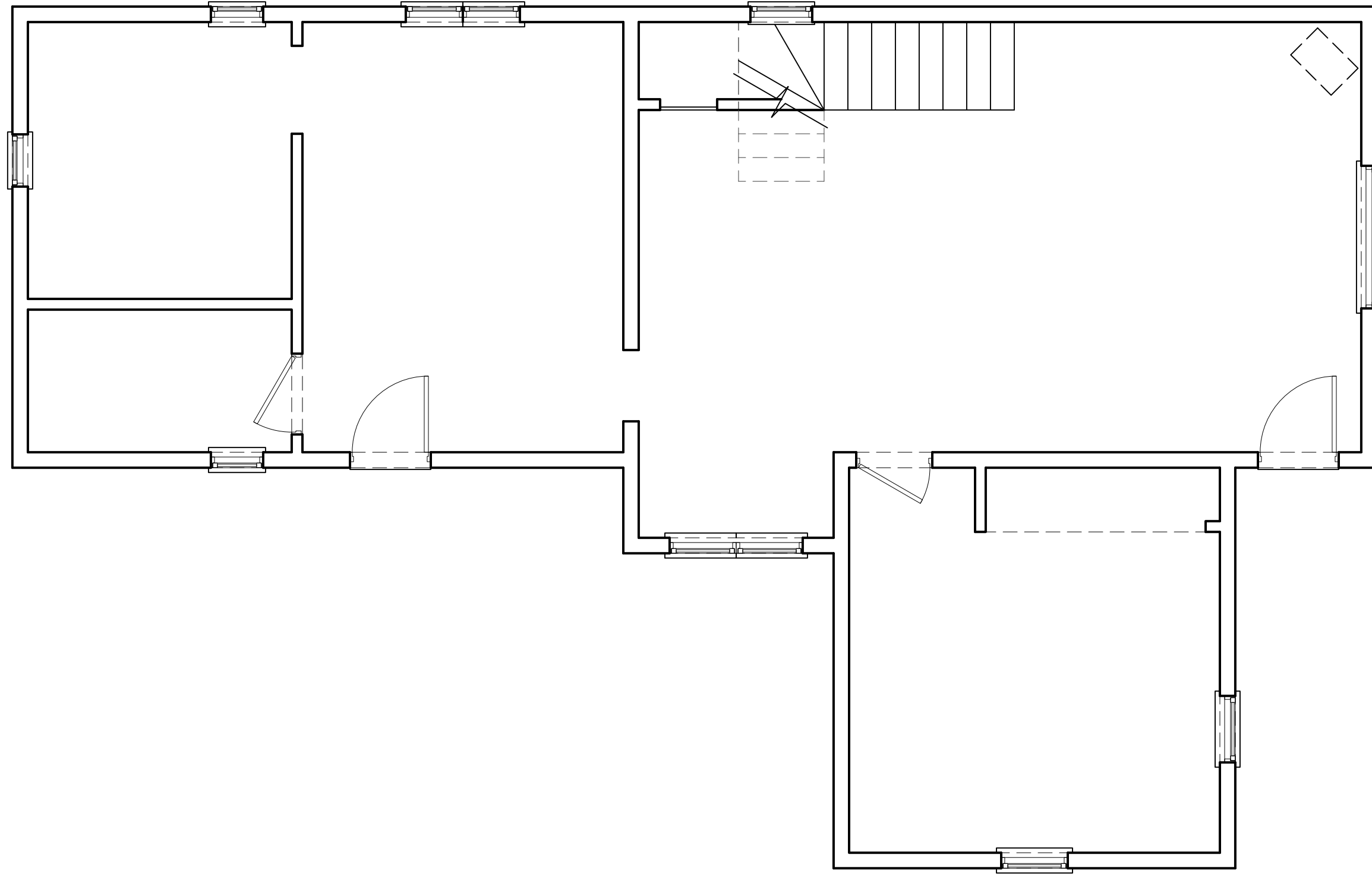
01 FIRST FLOOR FAR PLAN

SCALE: 1/8" = 1'-0"

A2.00



01 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



02 EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

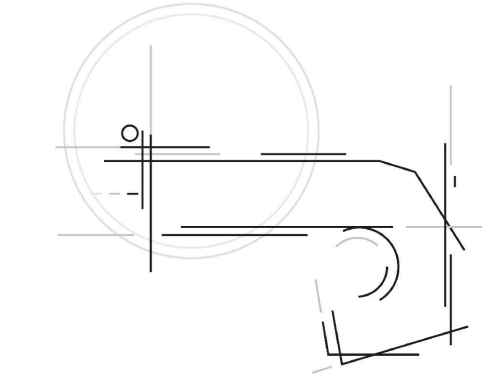
- STONE/BRICK VENEER OVER FRAME CONSTRUCTION
- WOOD SIDING OVER FRAME CONSTRUCTION
- STAGGERED 2x4 STUD WALL WITH SOUND BATTS REFER DETAIL A1.01.04

KEY

- ROOM [XXX] ROOM NAME & NUMBER
- (000X) DOOR NUMBER
- (X) WINDOW TYPE

GENERAL NOTES

- ALL DIMENSIONS TO FACE OF STUD U.N.O.
- DIMENSIONS NOTED W/ AN ASTERISK (*) ARE TO FINISH MATERIAL
- ELEVATION DROPS AT SHOWERS NOTED ON A2 ARE TO SUBFLOOR; SHOWER FLOOR SYSTEM AND/OR FINISH TPO SLOPE TO DRAIN
- REFER A9 SHEETS FOR FINISH MATERIAL ELEVATION CHANGES
- REFER SHEET A1.01 DIV. 10 FOR SPECIALTIES NOTES
- REFER SHEET A1.01 DIV. 11 FOR EQUIPMENT NOTES
- REFER SHEET A1.01 DIV. 13 FOR SPECIAL CONSTRUCTION NOTES
- REFER SHEET A1.01 DIV. 22 FOR PLUMBING NOTES
- REFER SHEET A1.01 DIV. 23 FOR HVAC NOTES
- FOR GARAGE SEPARATION FROM MAIN HOUSE REFER CODE (IBC R309.2)



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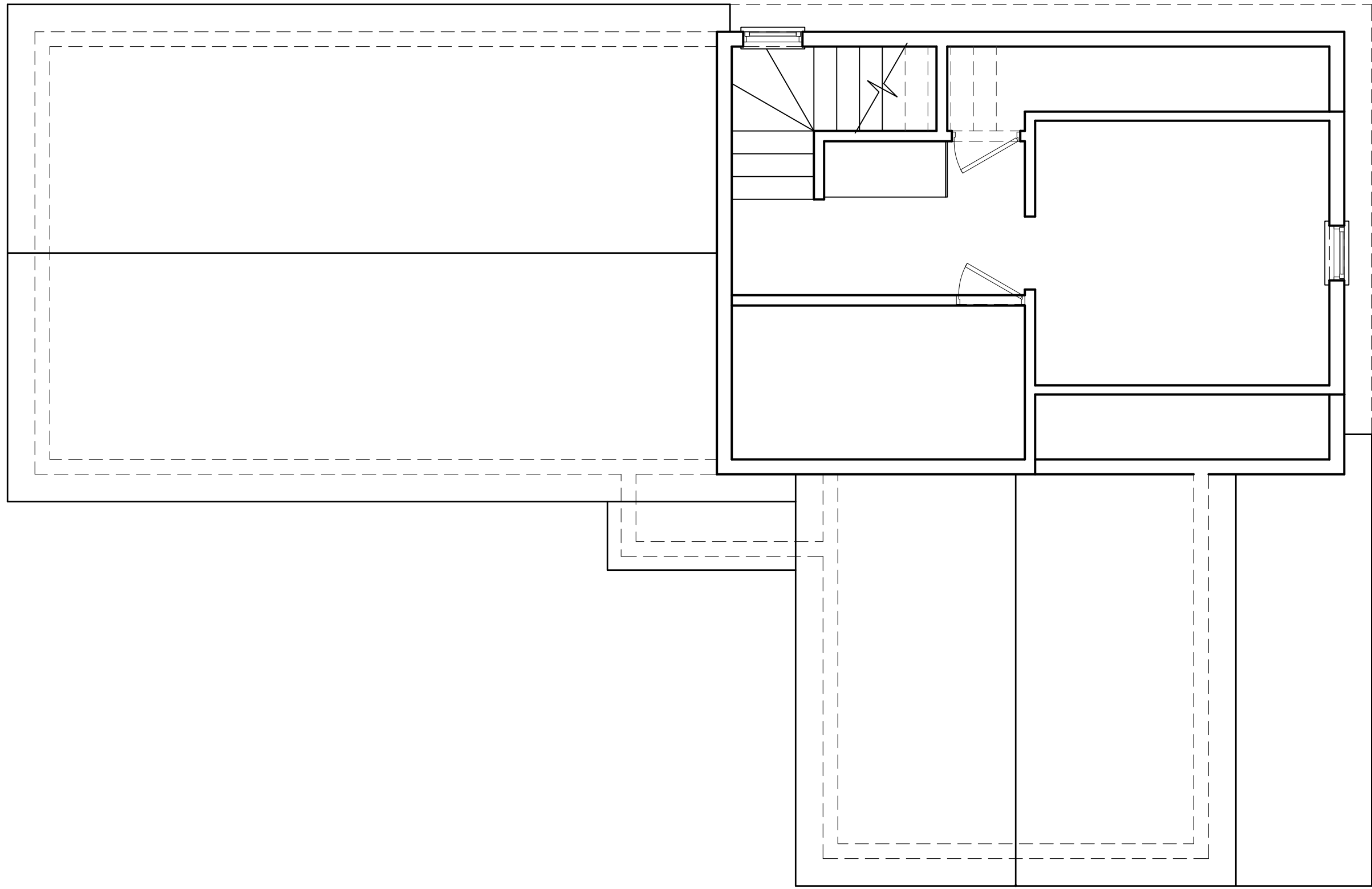
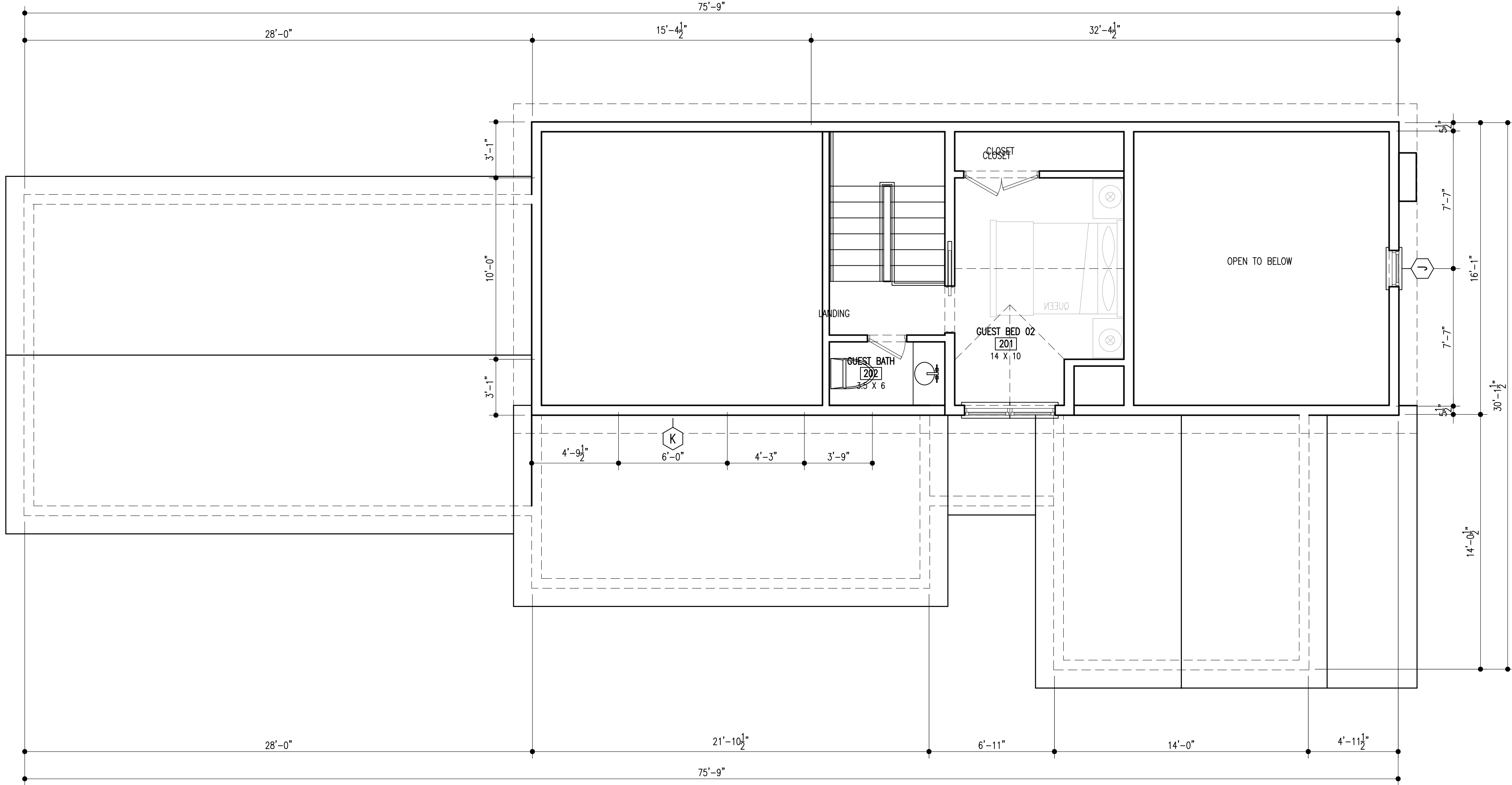
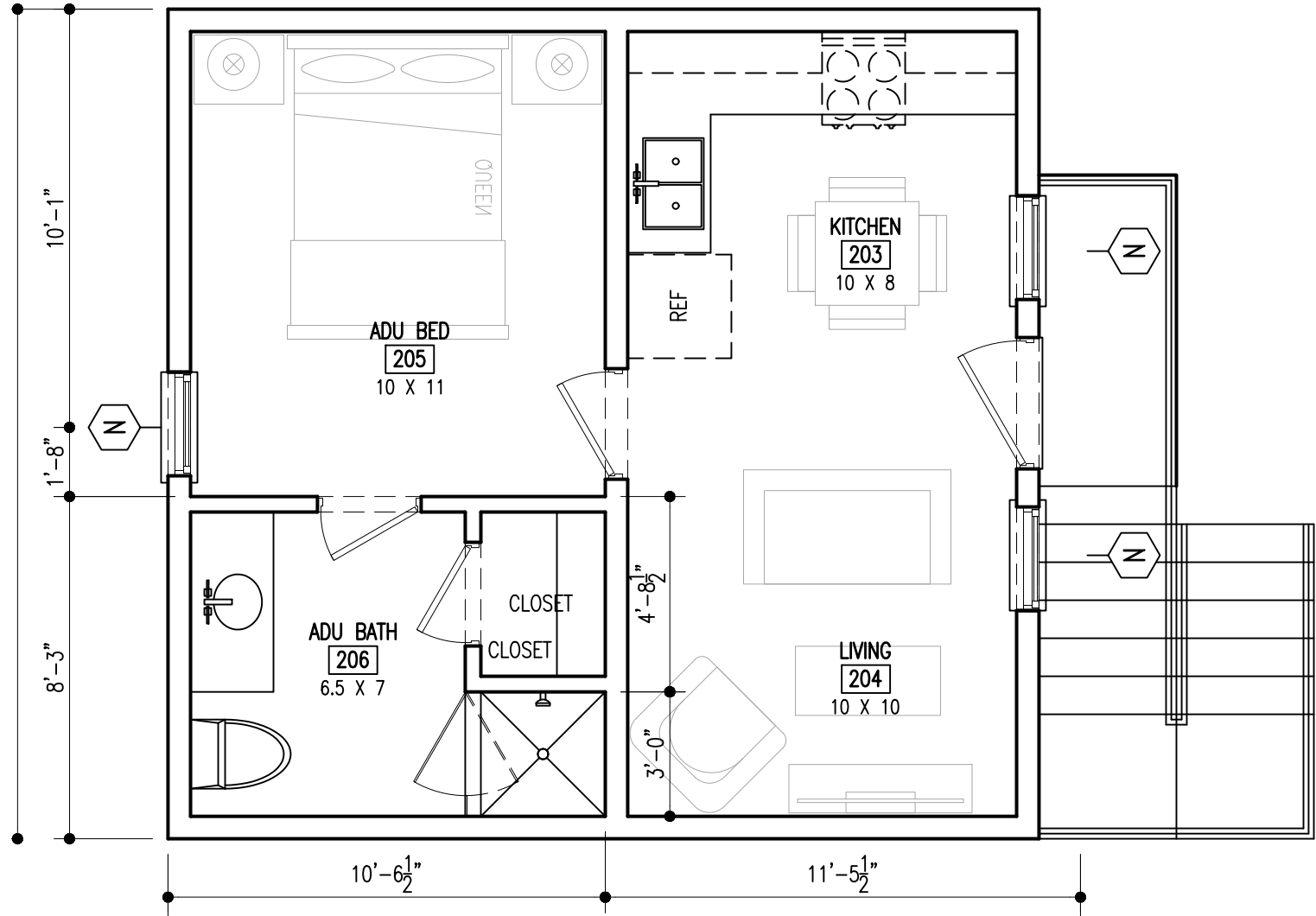
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MAIN FLOOR PLAN

A2.01



LEGEND

STONE/BRICK VENEER OVER FRAME CONSTRUCTION

WOOD SIDING OVER FRAME CONSTRUCTION

STAGGERED 2x4 STUD WALL WITH SOUND BATTS
REFER DETAIL A1.01.04

KEY

ROOM
XXX

ROOM NAME & NUMBER

000X

DOOR NUMBER

X

WINDOW TYPE

GENERAL NOTES

1. ALL DIMENSIONS TO FACE OF STUD U.N.O.

2. DIMENSIONS NOTED W/ AN ASTERISK (*) ARE TO FINISH MATERIAL

3. ELEVATION DROPS AT SHOWERS NOTED ON A2 ARE TO SUBFLOOR; SHOWER FLOOR SYSTEM AND/OR FINISH TPO SLOPE TO DRAIN

4. REFER A9 SHEETS FOR FINISH MATERIAL ELEVATION CHANGES

5. REFER SHEET A1.01 DIV. 10 FOR SPECIALTIES NOTES

6. REFER SHEET A1.01 DIV. 11 FOR EQUIPMENT NOTES

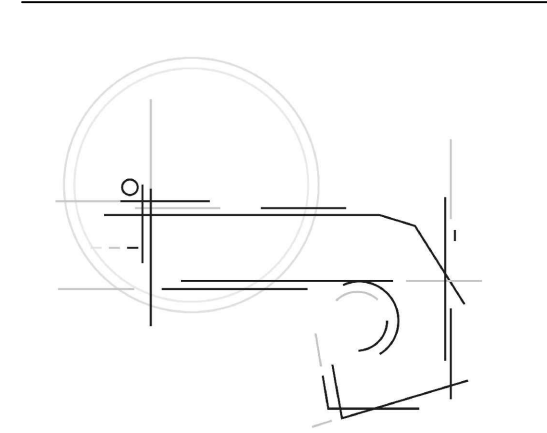
7. REFER SHEET A1.01 DIV. 13 FOR SPECIAL CONSTRUCTION NOTES

8. REFER SHEET A1.01 DIV. 22 FOR PLUMBING NOTES

9. REFER SHEET A1.01 DIV. 23 FOR HVAC NOTES

10. FOR GARAGE SEPARATION FROM MAIN HOUSE REFER CODE (IBC R309.2)

01PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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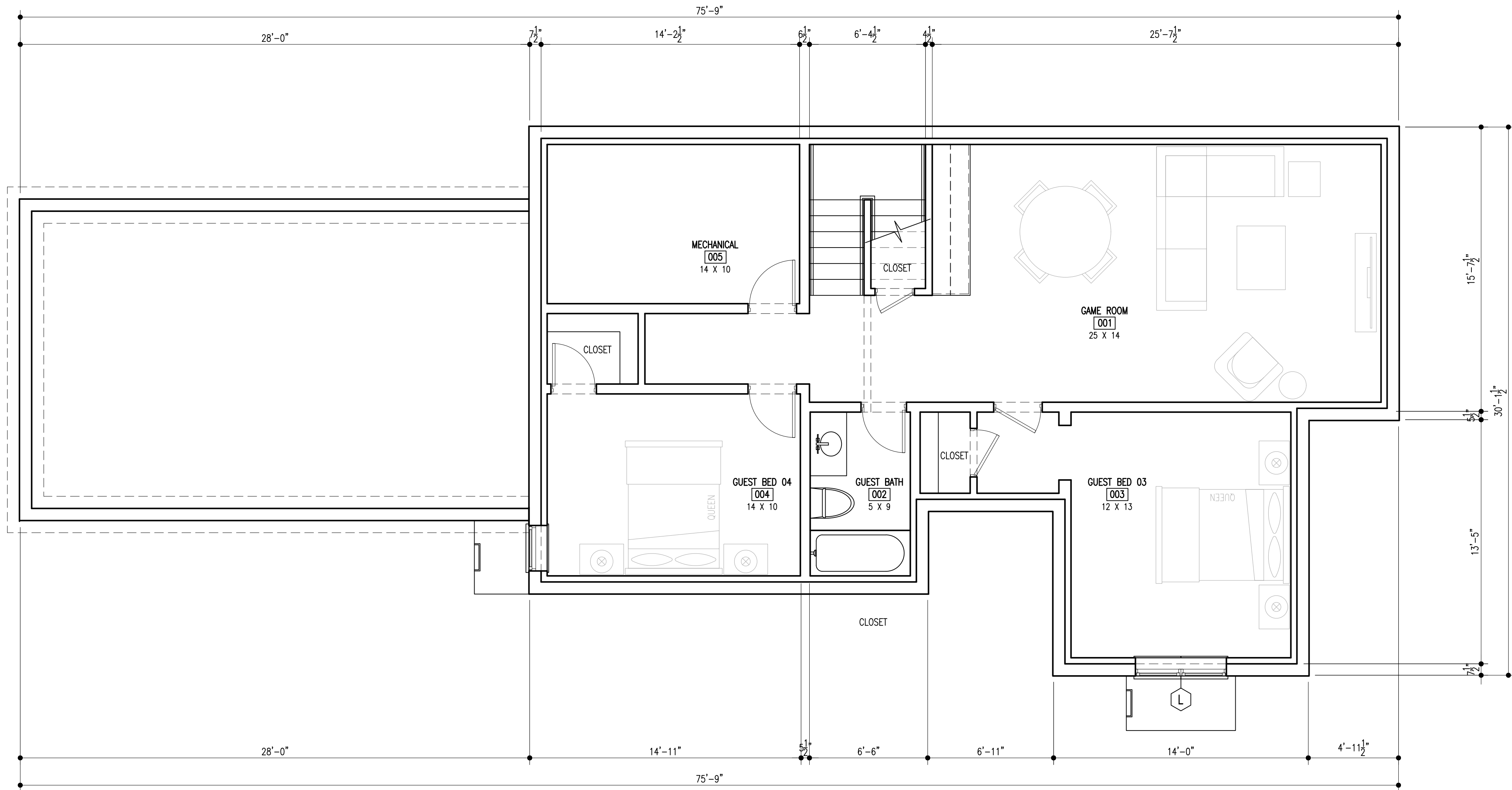
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SECOND FLOOR PLAN

A2.02



LEGEND

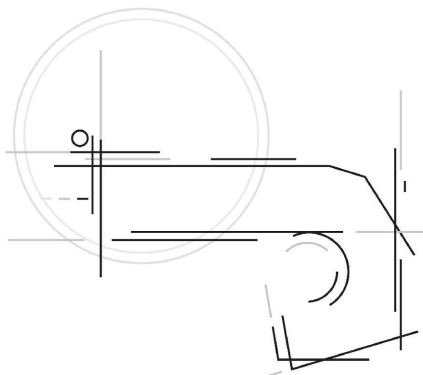
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- WOOD SIDING OVER FRAME CONSTRUCTION
- STAGGERED 2x4 STUD WALL WITH SOUND BATTS
REFER DETAIL A1.01.04

KEY

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- [000X] DOOR NUMBER
- [X] WINDOW TYPE

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- ELEVATION DROPS AT SHOWERS NOTED ON A2 ARE TO SUBFLOOR; SHOWER FLOOR SYSTEM AND/OR FINISH TPO SLOPE TO DRAIN
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- REFER SHEET A1.01 DIV. 10 FOR SPECIALTIES NOTES
- REFER SHEET A1.01 DIV. 11 FOR EQUIPMENT NOTES
- REFER SHEET A1.01 DIV. 13 FOR SPECIAL CONSTRUCTION NOTES
- REFER SHEET A1.01 DIV. 22 FOR PLUMBING NOTES
- REFER SHEET A1.01 DIV. 23 FOR HVAC NOTES
- FOR GARAGE SEPARATION FROM MAIN HOUSE REFER CODE (IBC R309.2)



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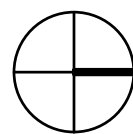
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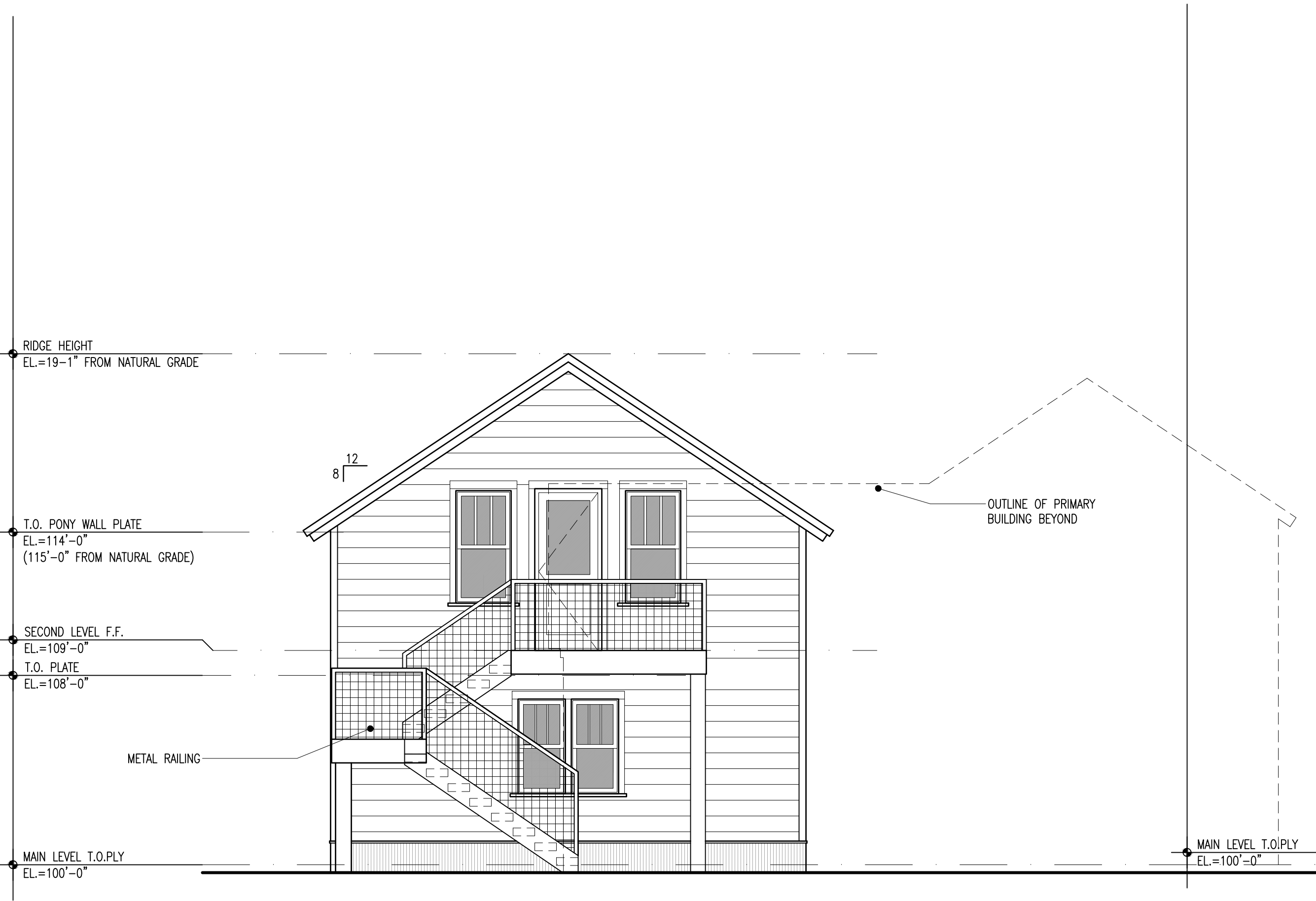
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BASEMENT FLOOR PLAN



01 PROPOSED BASEMENT PLAN
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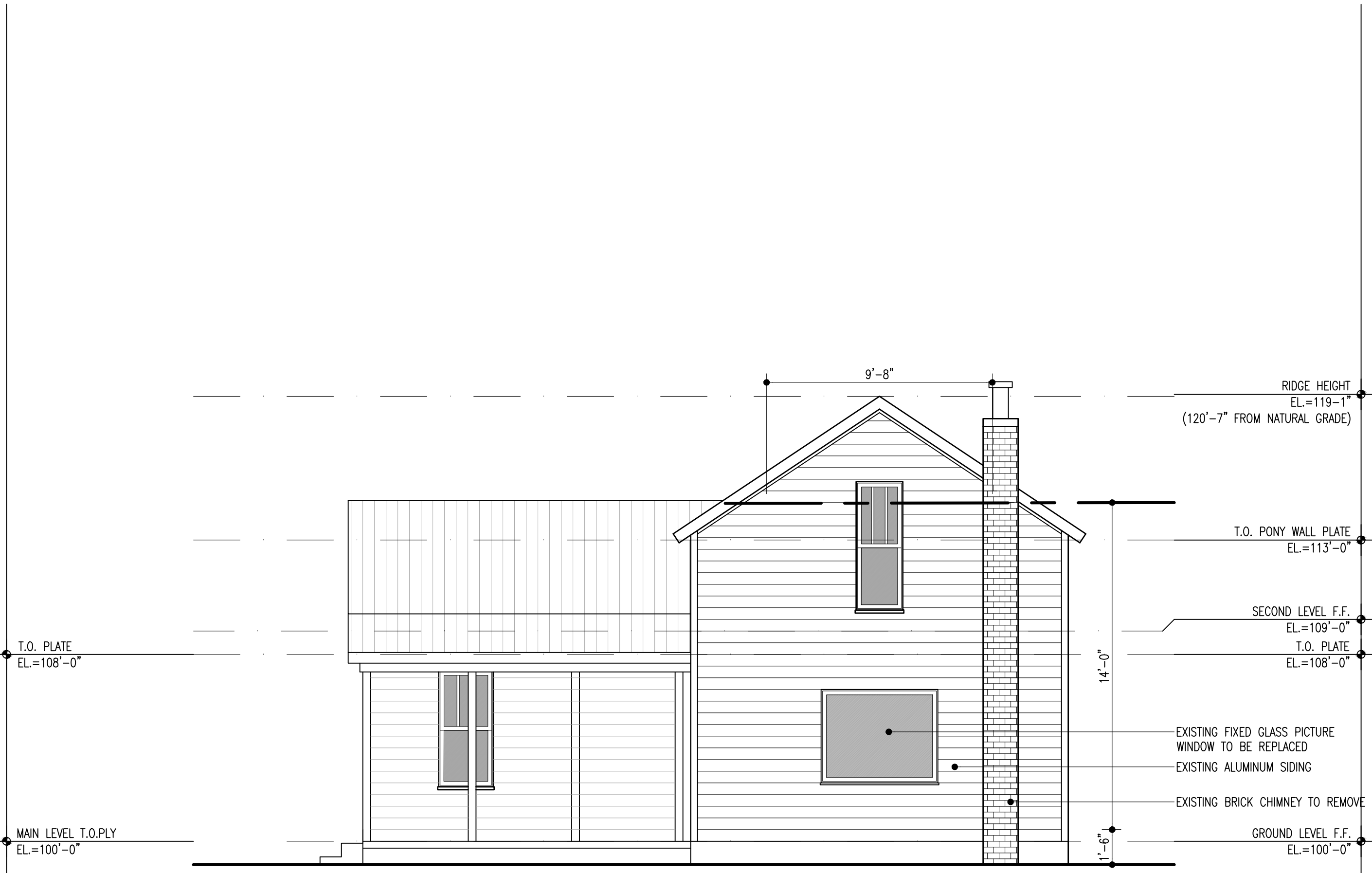
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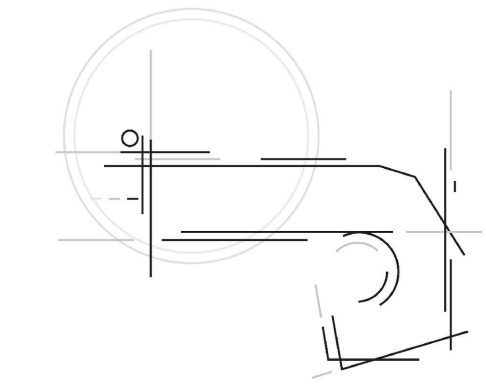
03 PROPOSED NORTH ADU ELEVATION
SCALE: 1/4"=1'-0"



02 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



01 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



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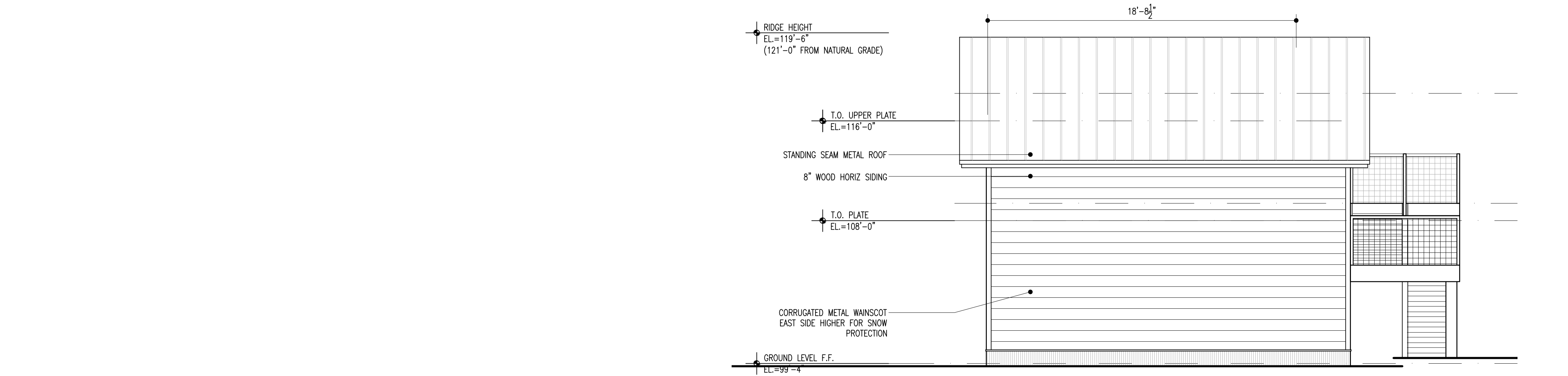
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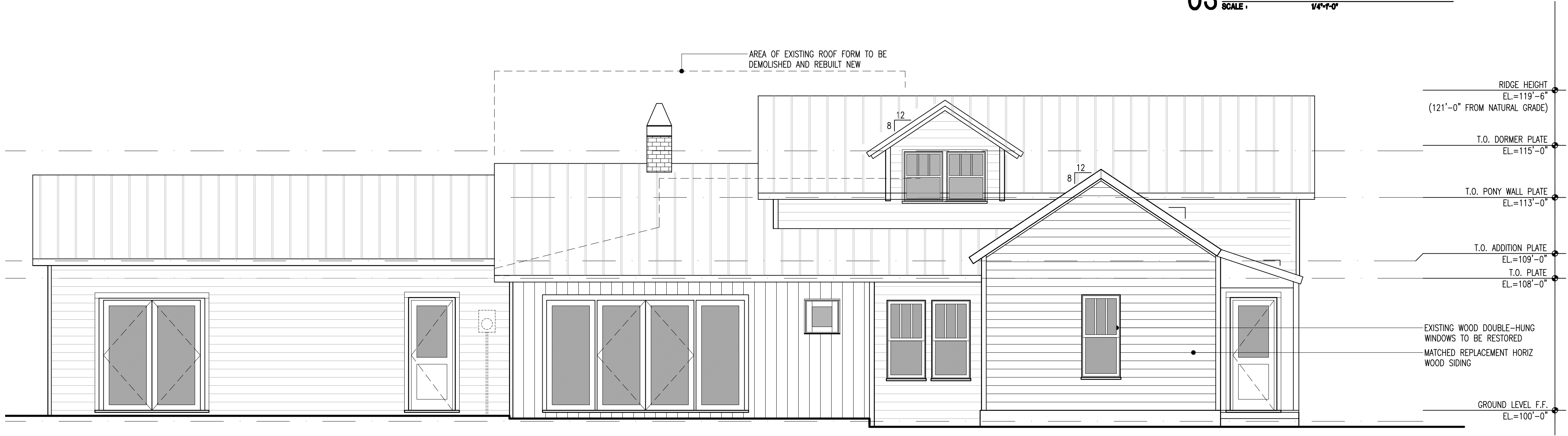
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EXTERIOR ELEVATIONS

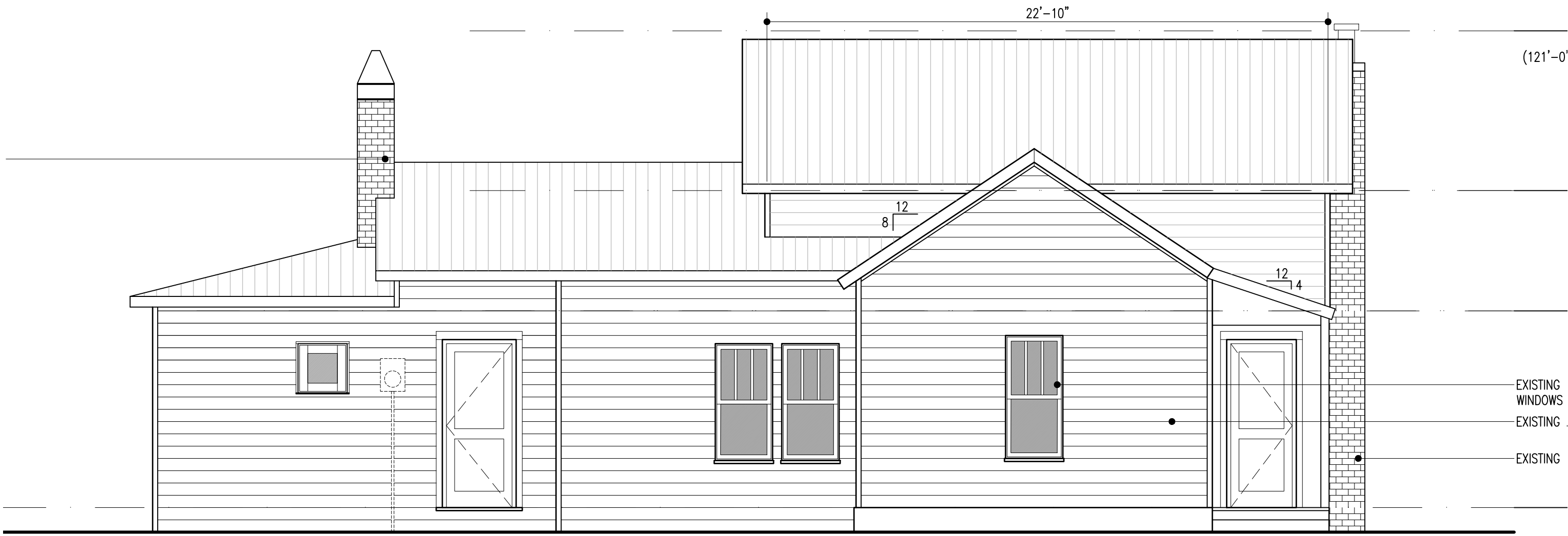
A3.01



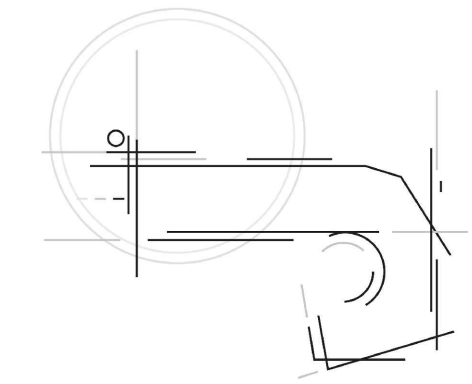
03 PROPOSED EAST GARAGE ELEVATION
SCALE: 1/4"=1'-0"



02 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



01 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



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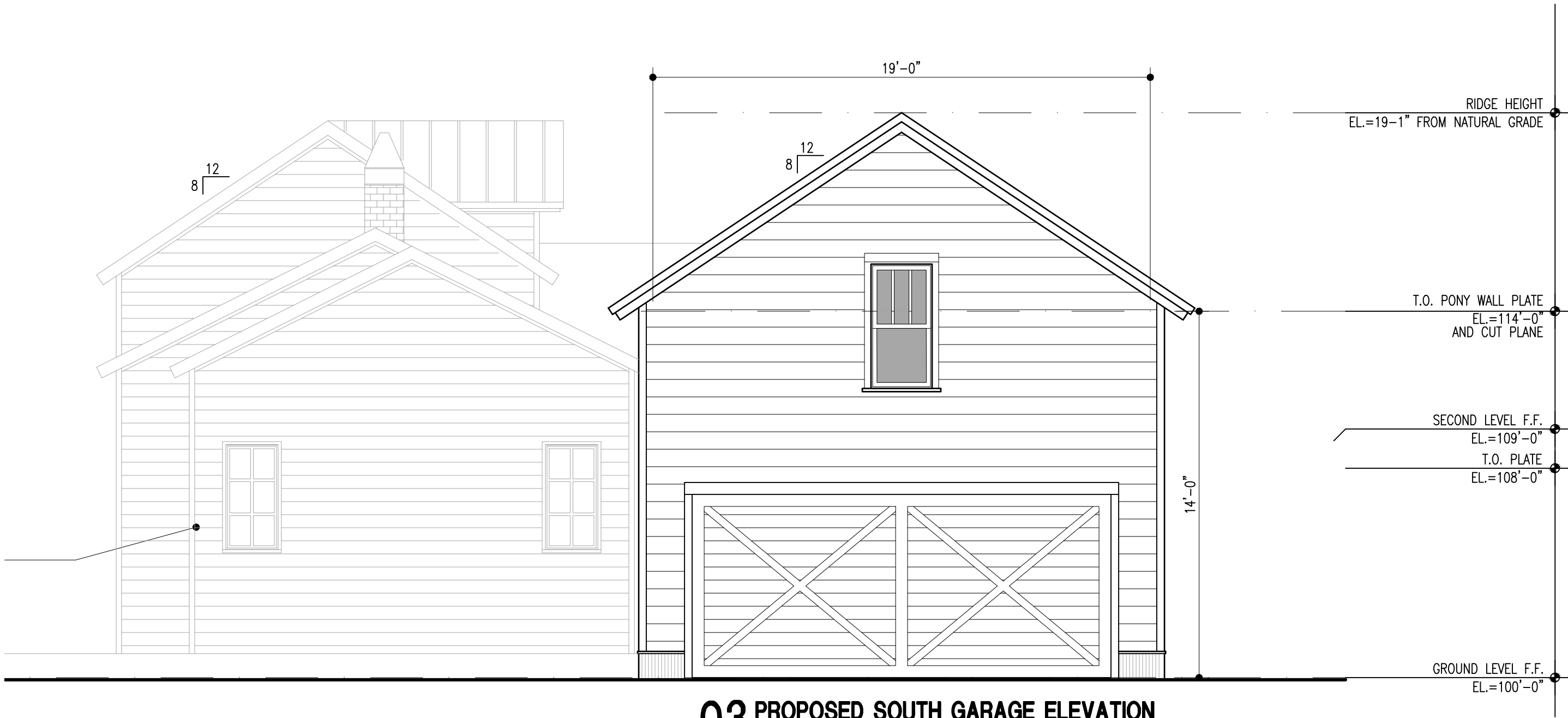
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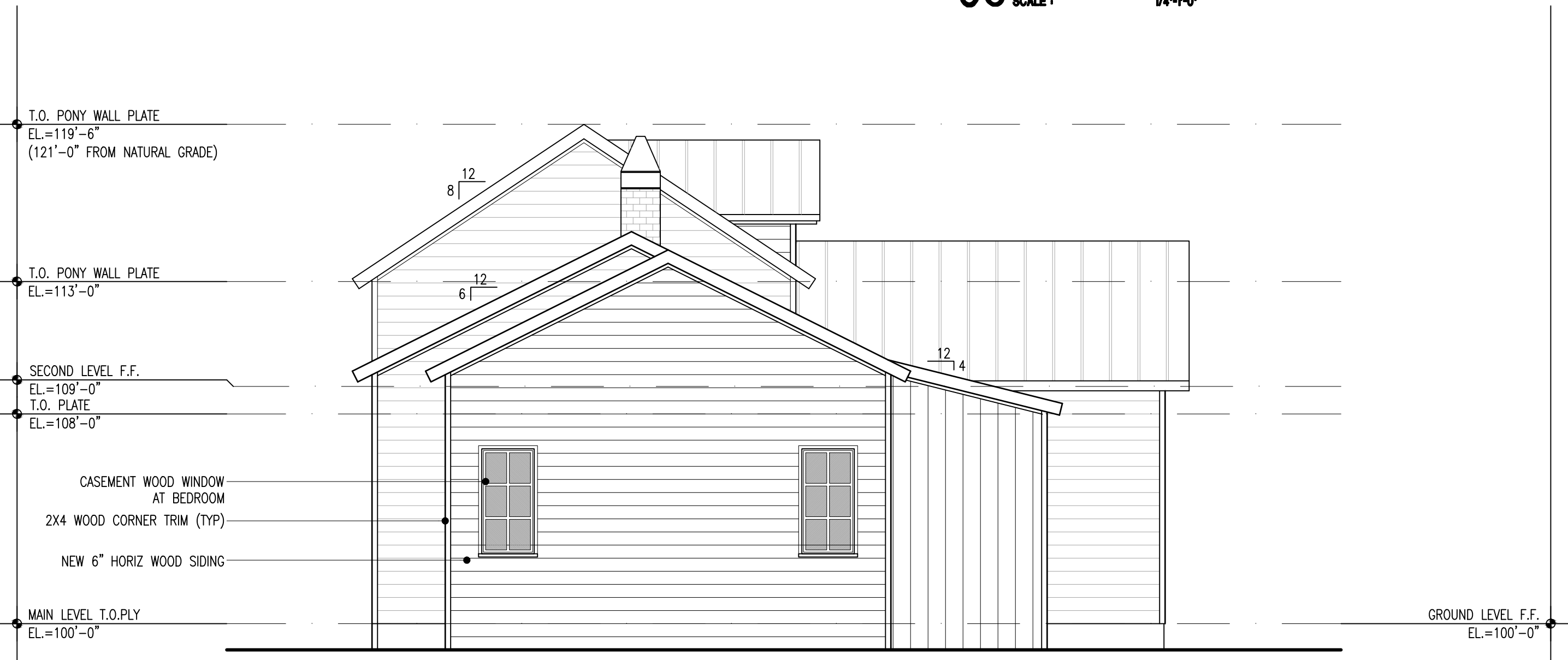
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EXTERIOR ELEVATIONS

A3.02



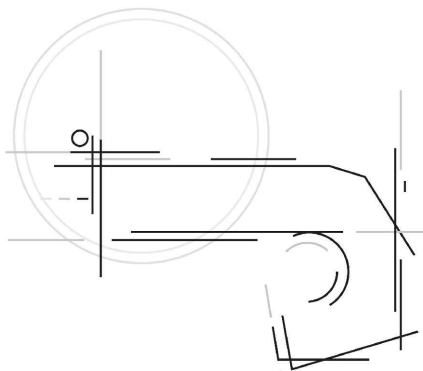
03 PROPOSED SOUTH GARAGE ELEVATION
SCALE: 1/4"=1'-0"



02 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



01 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



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CRESTED BUTTE, CO

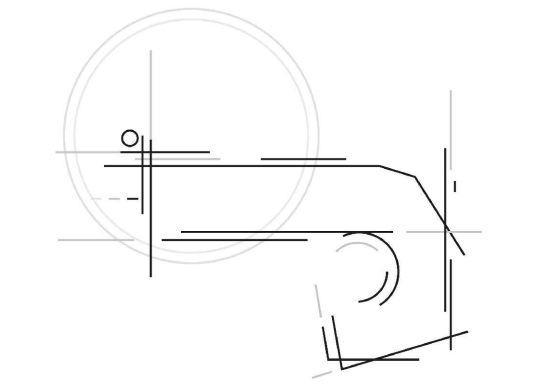
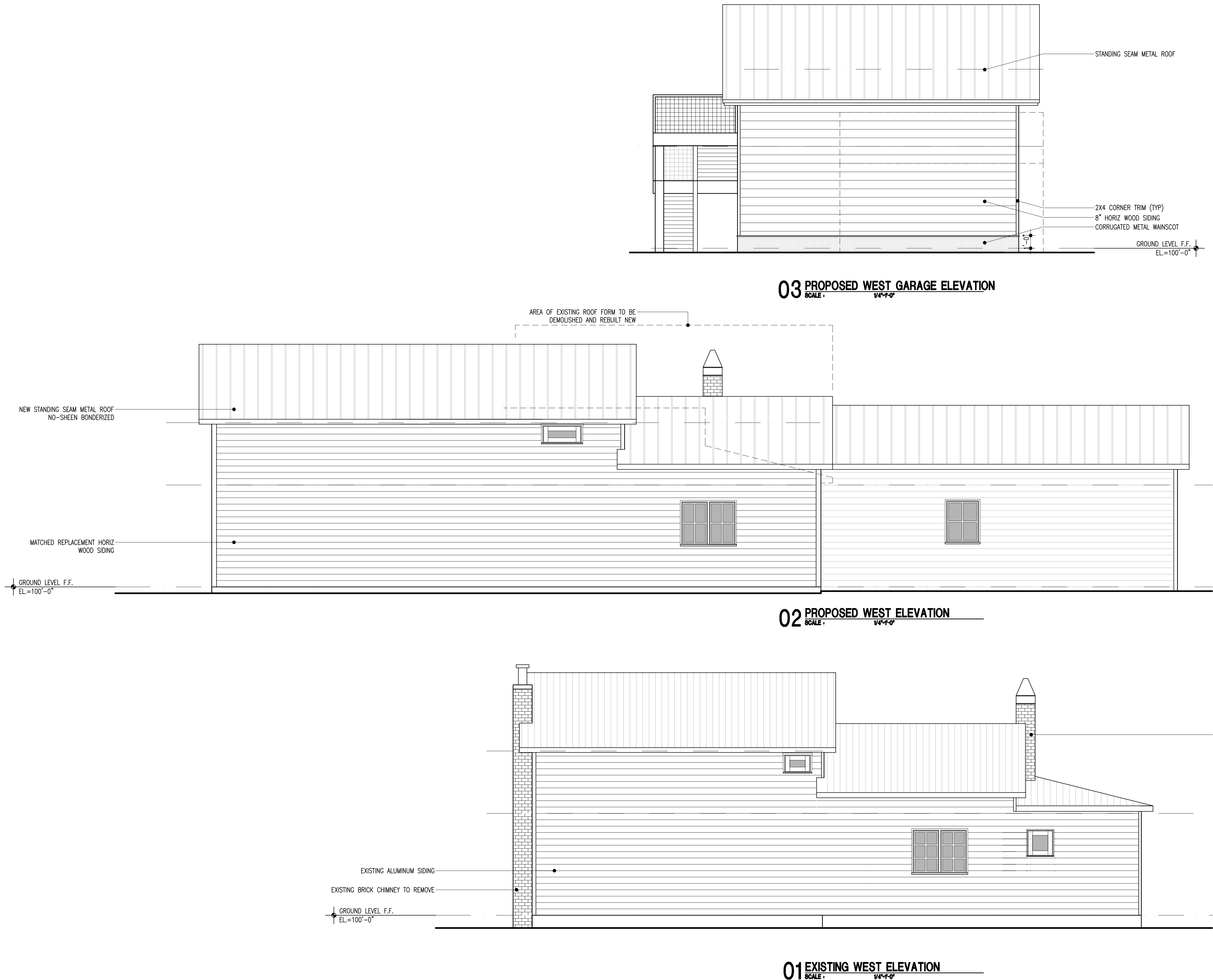
Design Review
NOT FOR CONSTRUCTION

JJARCH PROJECT #
25-002

ISSUE DATE
OCTOBER 3, 2025

EXTERIOR ELEVATIONS

A3.03



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322 MAROON AVE
BLOCK 22; LOTS 3-6
CRESTED BUTTE, CO

Design Review
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EXTERIOR ELEVATIONS

A3.04