



Staff Report

To: BOZAR
From: Jessie Earley, Senior Planner
Meeting Date: BOZAR, January 27, 2026
RE: 31 Augusta Drive, Final Review

PROJECT TITLE: Augusta Park Partners LLC (31 Augusta Drive)

SUMMARY: Consideration of the application of **Augusta Park Partners LLC** to site a single-family residence and a cold accessory building to be located at 31 Augusta Drive, Lot T4, Slate River Subdivision in the R1F zone.

- Architectural approval is required.

LEGAL DESCRIPTION: Lot T4, Slate River Subdivision

ADDRESS: 31 Augusta Drive

ZONE DISTRICT: R1F

OWNER: Augusta Park Partners LLC

APPLICANT: Andrew Hadley and Kyle Ryan

DRC MEMBERS: Alvaraz Marti and Davol (12/8/2025); Davol and Anderson (1/12/2026)

STAFF MEMBERS: Jessie Earley, Senior Planner

ATTACHMENTS:

1. Plans
2. GIS Map
3. Materials list(s)
4. Section
5. DRC Notes (12/8/25 and 1/12/2026)

These packet materials are available at this [link](#). Staff can provide paper copies of the packet upon request.

PROJECT DESCRIPTION

1. Construct a new single-family residence.
2. Construct a cold accessory building (garage).

PUBLIC NOTICE

This item was properly noticed per Section 16-22-110 (c). The affidavit of posting is on file in the Preservation Department.



- I. **Background/Overview:** Andrew Hadley and Kyle Ryan submitted an application on behalf of the Augusta Park Partners LLC for plans to construct a new single-family residence and a cold accessory building located at 31 Augusta Drive.
- II. **Status:** The Applicants met with the DRC at the 12/8/25 meeting. Notes from the meeting are attached for more detailed information.

Garage:

Material Changes:

- Siding = 8" Reclaimed Light Brown
- Trims = Painted Revere Pewter
- Windows = Painted Revere Pewter
- Roof = Dark Bronze
- 18" Metal Skirt Added - Corrugated Metal w/ top cap

Residence:

- Material Changes:
- Vertical Siding = 8" Reclaimed Light Brown
- Stone Siding = Light Brown
- Trims = Painted Revere Pewter
- Windows = Painted Revere Pewter
- Roof = Dark Bronze
- Chimney element breaks roof plane.
- The East roof peak raised and North/South ridge was brought down.

Site:

- House & Garage shifted east on site.
- Pavers reduced.
- Trees shifted from easement area.

The applicants met with the DRC at the 1/12/2026 DRC meeting. Notes from the meeting are attached for more information. Here are revisions since that meeting:

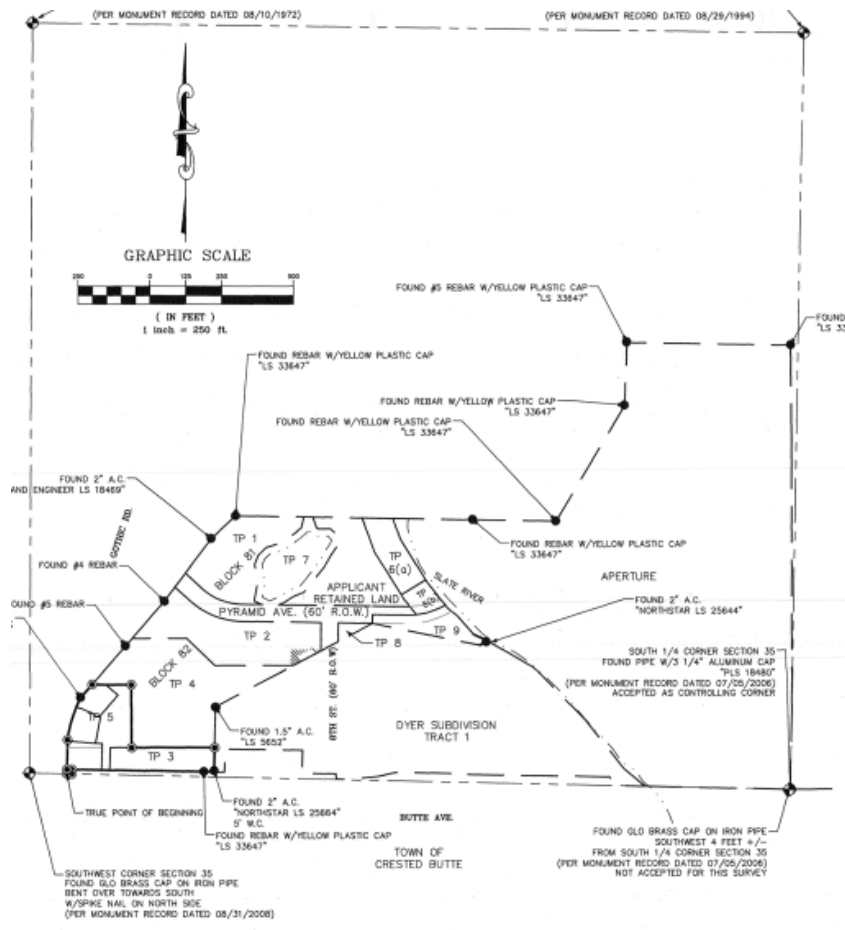
- Added WUI code note to our Notes page.
- Pushed the shrubs & trees away from the structures.
- The patio plan has had further development that will better illustrate how it will be used. This includes some furniture as well as a hot tub.
- Added some exterior lighting above the back deck & some additional notes for lighting below roofs at walkways.
- Inclusion of heights for AB as it relates to natural grade.

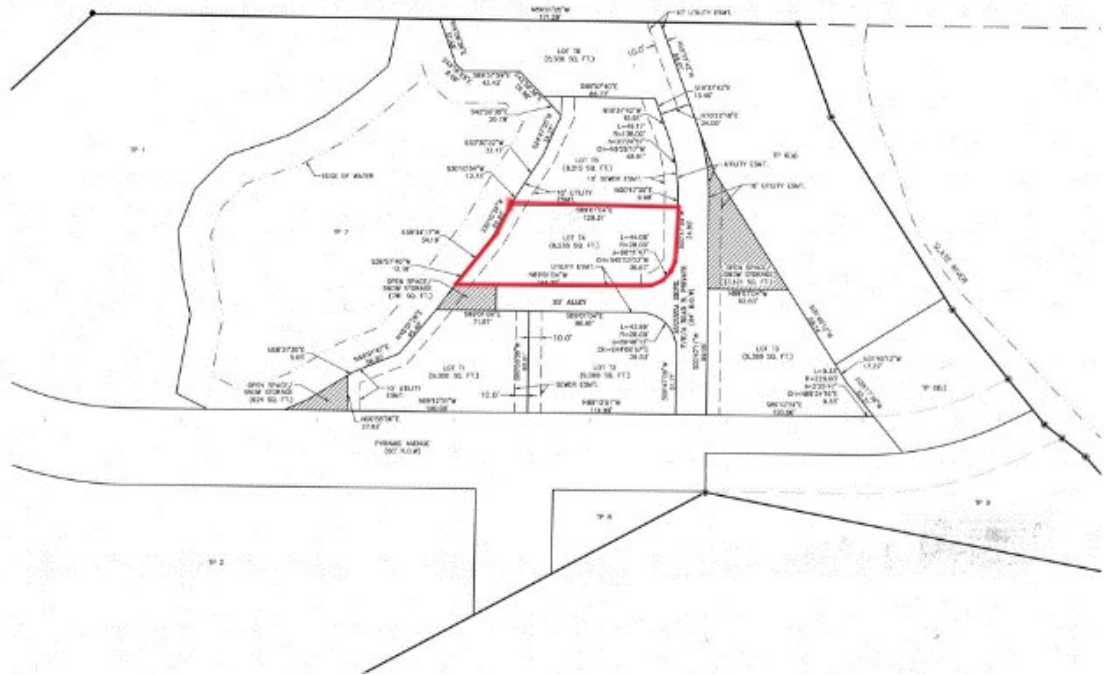
- III. **Subdivision: (Slate River Subdivision)** Developed in 2020, the Slate River Subdivision/Annexation was developed for a mix of zone districts and uses, including:
TP1: Public Zone



- TP2: Public Zone
- TP3: R4 Zone (Mineral Point development)
- TP4: Public/Open Space Zone (snow storage)
- TP5: R4 Zone (partial Mineral Point development and future housing development site)
- TP6: Public/Open Space Zone (boat put in)
- TP7: Public/Open Space Zone (wetland/trail)
- Augusta Park: R1F Zone (applicant of the original subdivision retained lots (6), which are now being sold)

Although Mineral Point construction is well underway and the boat put in is complete, this area is largely undeveloped at this time. There are plans approved for a home on the lot to the south of this lot at 65 Pyramid Avenue and to the southeast of this at 75 Pyramid Avenue.





IV. Context: Refer to guidelines 4.25-4.26.

This will be the third home within the Augusta Park neighborhood, which is zoned R1F. This zone district is much like the R1E and R1D zones, which are considered new zone districts. In that vein, the Board can look to these neighborhoods for context, if needed.

The Board should comment on whether the diversity in forms is achieved in relation to the neighborhood in a manner that will not appear excessively similar or dissimilar.

GL	Staff Analysis	DRC Recommendation
4.25	The forms differentiate from newer residences located in the 800-900 blocks within town per context GL 4.25.	Support
4.26	Discussion is encouraged to determine if what is proposed is a contemporary interpretation and variety or if the proposal is excessively dissimilar.	12/8 DRC: Revise height. Otherwise, support. 1/12 DRC: Revise height. A visual with natural grade has been included, which meets requirements.

**V. Land Use Code Review:
Residential Zone District (R1F) (Sec. 16-4-1000-16-4-1060)**



Dimensional Limitations	Required by Chapter 16	Proposed	Compliant
Minimum Frontage	50'	62'1"	Yes
Maximum Lot Area:	11,400 sf	9235 sf	Yes
Minimum Lot Area:	5000 sf	9235 sf	Yes
# Dwellings:		1	Yes
Minimum Setbacks:			
Principal: Front (East):	Public Street, 20' Private access road, 10'	12' (principal, Augusta Drive)	Yes
Principal: Side Yard (North):	7'6"-11'6"	11'6" (1 story elements) 16'3" (2 story elements)	Yes
Principal: Side Yard (South):	7'6"-11'6"	8'6" (1 story elements) 12'7" (2 story elements)	Yes
Principal: Rear:	10' (Principal) 5' (Accessory) 7'6" (Wetland)	12'11" (principal)	No
Accessory Building: Side Yard (East)		12'11"	Yes
Accessory Building : Rear Yard (West)	10' (Principal) 5' (Accessory) 7'6" (Wetland)	15'10" (accessory)	Yes
Accessory Building: Side Yard (North)	7'6"-11'6"	24'	Yes
Accessory Building: Side Yard (South)	7'6"-11'6"	7'6" (accessory)	Yes
Between buildings	10'	12'11" (west elevation of principal to east elevation of accessory)	Yes
Max FAR - Primary:	2800 sf maximum	2796.4 sf	Yes
Max FAR – All Buildings:	3800 sf maximum	3737.6 sf	Yes
Height:	30' /20'/ 24'	28'10" (principal) 20' (accessory, garage)	Principal – Yes Accessory - Yes
Roof Pitch	Minimum 4:12	10:12 (principal, primary roofs) 4:12 (principal, porch roofs) 10:12 (accessory, garage, primary roof)	Yes
Width	35'	35'	Yes
Snow Storage	>33%	77%	Yes
Open Space	50%	72.5%	Yes
Parking	3 spaces	3 spaces (2 interior, 1 exterior)	Yes

VI. Design GL Analysis



R-1F Zone: The purpose for which this District is created is to provide areas for low-density residential development along with customary accessory uses. The lots in this District provide a transition between the Town and the still larger residential lots outside of Town. Accessory uses naturally and normally incidental to and exclusively devoted to such primary residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

Design Goals: Accommodate the needs of our growing community, while at the same time maintaining the architectural integrity and traditional character of Town. New construction for this zone should appear compatible with the R1 zone massing, scale and styles related in the guidelines.

The Town's design goals for this district are:

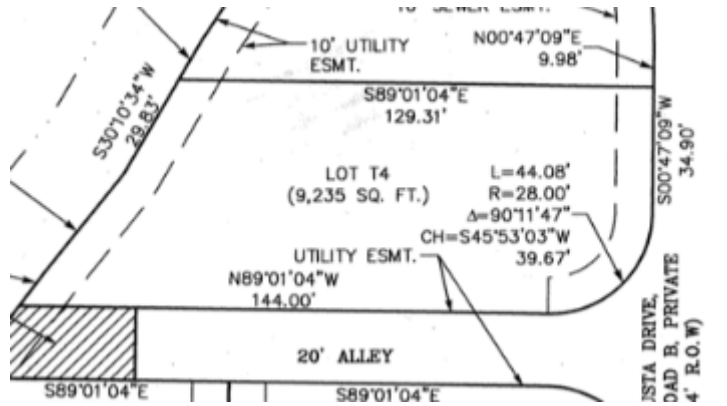
- To encourage appropriate infill and changes to existing structures that complement the character of the historic residential core areas.
- To maintain the size and scale of the R1 neighborhoods so they complement, rather than overwhelm or detract from, historic structures.
- To maintain and encourage pedestrian size, scale, uses, and orientation.
To allow for greater flexibility in design compared with what is allowed in historic areas.

- a. **Site planning:** Refer to GL: 2.16-2.40, 3.1-3.2, 5.108-5.112.

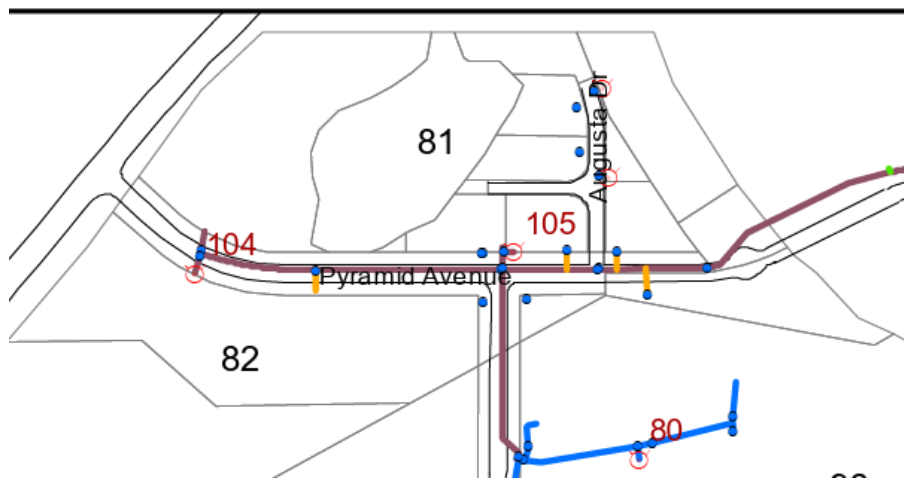
GL	Staff Analysis	DRC Recommendation
Topography	<p>On the northeast corner of the lot, the grade is noted 8875'. This transitions up to 8878' and then back down to 8870' in the southwest corner of the lot.</p> <p>Over the course of the primary building footprint, the grade is 8878'3", which is the elevation used for measuring FAR.</p> <p>For the accessory, the bulk of the grade for measuring FAR is 8877'.</p>	Support
2.8 Drainage	Drainage arrows for the site are shown. With the inclusion of the basement, a dry well onsite will likely be required, but details for this can be coordinated prior to permitting.	Support
Easements	<p>There is a 10' utility easement for the west side and for the east side of the lot. Both are called out on the site plan, as well as a 10' utility easement on the southeastern corner.</p> <p>The trees have been removed from the utility easement on the southeast corner.</p>	Support
2.16 Substantial landscaping	Provision of a final landscape plan will be required for review and approval if revisions are proposed after permitting prior to a CO.	Support
2.19 New trees	There is one evergreen noted for the north and slightly east portion of the	12/8 DRC: Shift trees out of easement area. This has been done. Support



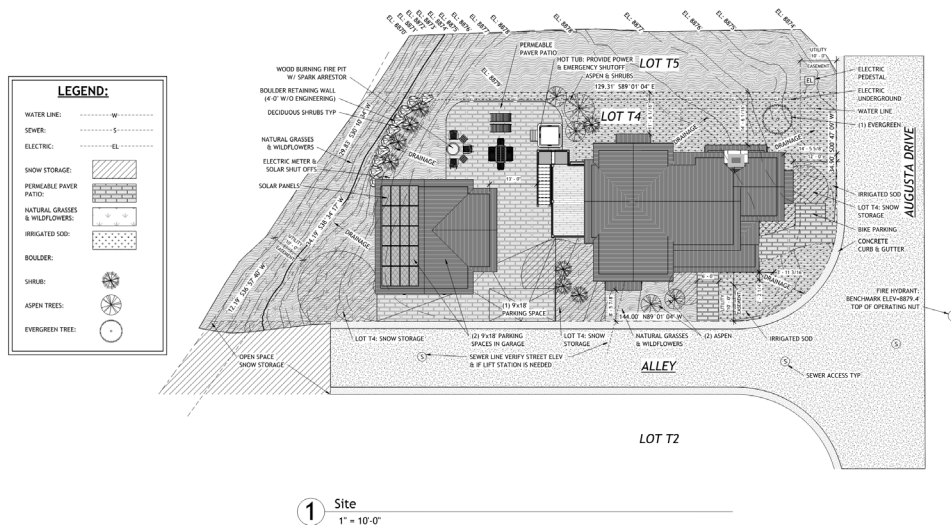
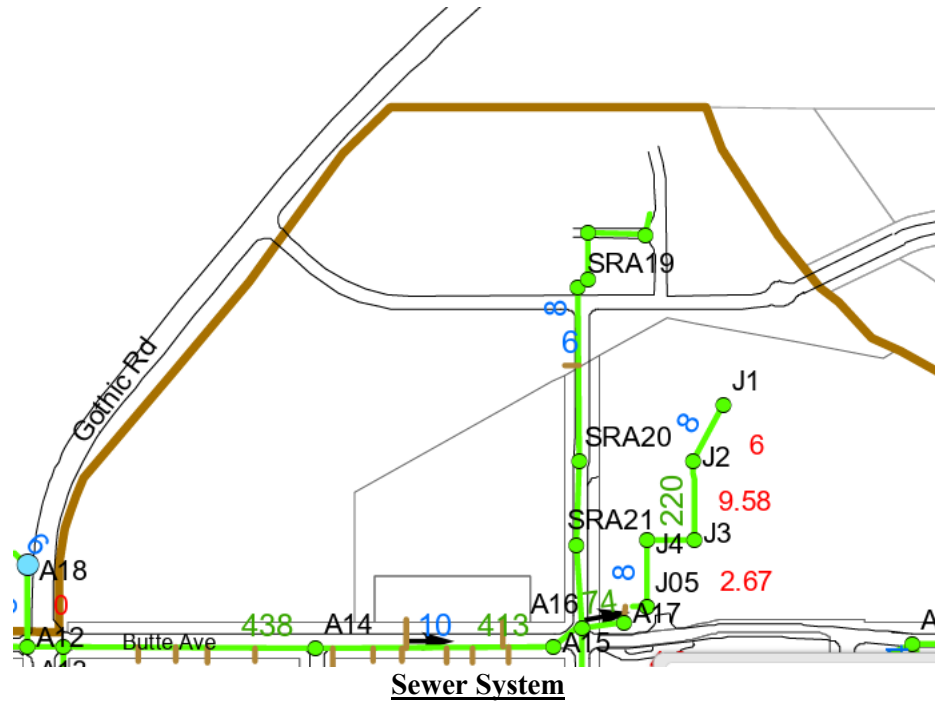
	lot, three aspens and a shrub in the north- central portion of the lot, deciduous shrubs along the north western portion of the lot, four deciduous shrubs in the south central portion and two aspens on the southeastern portion of the lot. This appears to meet the intents of GL 2.19 a as it requires two trees and 4.28.	
2.16 a./ 2.20 Native plantings	Deciduous shrubs are noted along the northwestern portion of the lot, one centrally located on the northern portion of the lot and four on the south central portion. Native grasses and wildflowers are also noted on the eastern portion of lot and portions of southern central portion of the lot. This appears to meet the intent of GL 2.16a and 2.20. The applicant has pushed bushes back to 5' from the structures, as will be the requirement for the Wildfire Resiliency Code to be adopted in February.	Support
2.16 e Pervious materials 2.28 e & f Parking substrate	Walkways and patio (1883.97 sf) are called out as permeable pavers. This appears to meet the intent of GL 2.16 e. Comparison data: 65 Pyramid Ave: 1968.15 sf (pavers/asphalt) 75 Pyramid Ave: 2615 sf (pavers/concrete/gravel)	12/8 DRC: General support, but further discussion around amount of pavers is encouraged 1/12 DRC: DRC members asked for comparisons for other lots within the R1F zone relating to hard scape totals. This is included
(2.37-2.40)/ 16-17-40 Exterior Lighting	Lighting has been identified on elevations of the primary building and appear to be in compliance with the night sky ordinance.	12/8 DRC: Add information to plans. Updates have been provided for AB. 1/12 DRC: Add information to plans. <u>Lighting</u> details were added to plans.
Solar 2.10	Panels are shown on the west elevation of the accessory building/garage. Support.	Support
Utilities	Wet and dry utility lines have been included. The water tap looks to be on the east, as noted. The sewer line elevation will need to be verified to see if a lift station is needed.	
2.7 Snow Storage	Snow storage is provided and appears to exceed the 33% of areas to be plowed.	



Existing Site



Water System



Proposed Site plan



b. **Mass, scale and form:** Refer to GL 4.32-4.34

The proposed building resembles the T- shape forms with secondary appendages. The module with the E/W ridge (29'9") appears to serve as the primary module and steps down from a height of 28'10" on the N/S ridge (38'2") to a height of 28'5 ½". The primary ridge steps down another 3' or so to a secondary gable module on the front (east). The Board can discuss if the N/S ridge distracts from the E/W ridge being the primary module, which is preferably closest to the street per GL 4.34 b.

GL	Staff Analysis	DRC Recommendation
4.33-4.34	Consideration of whether the forms achieve relationships with historic buildings are in GL 4.33 and 4.34. 3D drawings are helpful to assess this.	Support
4.34 Discernable primary module	The front module, encouraged to be the discernable primary module might be confused per GL 4.34 b. Board discussion encouraged. The applicant raised the east module to help better identify this module. Discussion is encouraged.	12/8 DRC: Full Board discussion. 1/12 DRC: Support



1

SE Elevation

Southeast perspective



2 SW Elevation

Southwest perspective



1 NE Elevation

Northeast perspective



2 NW Elevation

Northwest perspective

c. **Design and Style:** Refer to GL 4.35-4.40

GL	Staff Analysis	DRC Recommendation
4.35	Discussion of whether overall building forms appear as a product of their own time while relating with historic forms seen in town is encouraged. Staff finds compliance.	Support
4.36-4.37	Discussion is encouraged as to whether the design of the home relates with the overall styles within the neighborhood or appears incongruent or can be seen as a contemporary interpretation.	Support

d. **Roof forms:** Refer to guidelines *4.41-4.45.

GL	Staff Analysis	DRC Recommendation
4.41	The gabled roof forms (10:12) are symmetrical and appear consistent with the intents of 4.41.	Support
4.42 Shed roofs 4.43 Mixing roof styles	The use of the shed roof (4:12) on the east, north, and south seem consistent with this GL. General support.	Support
4.44 Ridge lines	The 29' 9" ridge (including overhangs)) stepping down in the front (East) 3' and 38'2" (N/S) gable meets the intent of GL 4.44 a.	Support
4.45 Roof pitches	Roof forms of the primary module employs a 10:12 pitch, as encouraged in	Support



	4.45, as are the 4:12 pitches on the secondary module shed roofs. Consult GL 4.45 and 4.35 (contemporary interpretation). Staff finds compliance.	
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e. **Porches/Balconies:** Refer to guidelines *4.49-4.52

GL	Staff Analysis	DRC Recommendation
4.49 Covered porches	The entry porch on the East is a gable entry, as encouraged by GL 4.49b.	Support
4.50 Mix of porch styles	The entry porch measures 5'10" at its shallowest depth, which complies with the intents of GL 4.50 b encouraging a depth of at least four feet.	Support
4.51 Rear porches	N/A.	NA
4.52 Second and third story decks	The second story elevated deck is located on the rear (west) side of the property and meets the intent of GL 4.52.	Support

f. **Windows:** Refer to Guidelines 4.53-4.63.

GL	Staff Analysis	DRC Recommendation
4.53 Window to wall ratio	<p>Window to wall ratios along the front elevation proposes 144.27 sf of glazing/ 710.86 sf wall space, which is 20% window to wall. This is in line with the 10-20% that is generally seen. Additionally, this is a new zone.</p> <p>The first floor presents two two-packs, two single windows and door glazing (62.1 sf), there are two two-packs and two single windows on the second floor (61.7 sf). There is one small window in the gable (4.1 sf). Support.</p> <p>The south elevation proposes three two-packs and two single windows on the first floor and four single windows and three two-packs, with a small window in the gable.</p> <p>The rear (west) elevation proposes one, two pack and door glazing on the first floor and one two pack and two single windows and a full lite folding door on the second floor. The gable includes a two pack of windows.</p> <p>The north elevation proposes two two-pack of windows and three single</p>	Support



	windows on the first floor and two two-packs and two single windows on the second floor. There is one small window in the gable.	
4.54 Vertical emphasis	Windows are proposed as one over one, casement, simulated divided light windows which is consistent with historic homes, which is supported by GL 4.54 a. Window operations have been noted on the plans.	Support
4.56 Window material	Metal clad (black and charcoal grey) windows are noted on the materials list. General support.	Support
4.57 Fenestration pattern	There appears to be 12" to exterior corners, as required by the GL.	Support
4.58 Groupings of 2 or more windows	The three windows on the south elevation appear to be separated by at least 3.5" per GL 4.58 a.	Support
4.58 c. Window sizes	There are not more than four window sizes on the front (east). There are not more than six window sizes for other elevations.	Support
4.59 Window and door trim	There is a 2"x4" wood trim noted for windows. Support.	Support
4.60 Divided lights	Simulated divided lights are noted on the materials list. Support	Support
4.61 Transom windows	NA	NA
4.63 Window Wells	There are window wells included on the north, east and south elevations. The window wells on the north and south elevations appear to meet requirements of this GL. GL 4.63 a would encourage the window well on the front façade (east) to be placed elsewhere or under a covered deck. Board discussion is encouraged to determine if the proposed shed roof accomplishes this.	12/8 DRC: Full board discussion regarding the front (East) window well. 1/12 DRC: Support

g. **Doors:** Refer to GL 4.64-4.69.



GL	Staff Analysis	DRC Recommendation
4.64 Primary door	The primary door faces the street. Support.	Support
4.65 Primary door	The primary door is proposed as ½ light in wood (purple). Support.	Support
4.66 Secondary doors	<p>There is one half-light metal door on the west (gray). This meets the intents of GL 4.66.</p> <p>There is a three-panel folding door proposed for the second story west elevation, which is not highly visible from the street. The opening does not appear to exceed the width and height allowance of 9', thus complying with GL 4.66 e.</p>	Support

h. **Lighting:** Refer to GL 2.37-2.40.

GL	Staff Analysis	DRC Recommendation
2.37 /4.74 Exterior lighting	Lighting has been identified on elevations of the primary building and appear to be in compliance with the night sky ordinance.	12/8 DRC: Add information to plans. Updates have been provided.

i. **Materials:** Refer to GL 4.75-4.83.

Siding:



Benjamin Moore - Amherst Gray

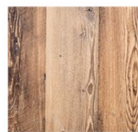


Dry Stack Stone - Tan Limestone

Roof:



Standing Seam - Dark Bronze



Reclaimed Light Brown Barnwood



Corrugated Metal - Charcoal Grey

Door:



Benjamin Moore - Classic Burgundy

Trim/Fascia/Windows:



Benjamin Moore - Revere Pewter

The building proposes horizontal 1"x8" lap siding (Amherst Grey) and **vertical 2"x8" wood (Briarwood)** for the main building. There is an 18" max wainscot and chimney of dry stack stone (**Light Brown**).

The roof is a standing seam (**dark bronze**).



Trim is noted as 2"x4" wood (Revere Pewter). A 1"x8" fascia (**Revere Pewter**). 2"x4" wood corner boards (**Revere Pewter**) are noted. 1"x4" shadow board to match siding is noted on plans.

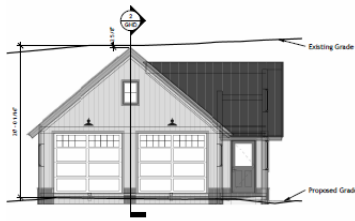
The primary door is proposed as ½ light in wood (painted purple). There is one ½ door in metal on the west (gray). There is a three-panel metal clad three light folding door proposed on the west (black).

Windows are proposed as aluminum clad, casement windows with simulated divided light, (**Revere Pewter**).

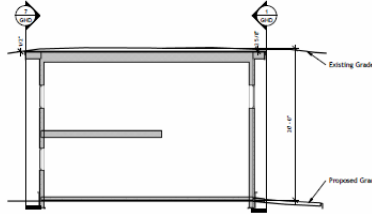
There are 8"x8" post and beams (antique textured brown) and metal railing (black) noted for the porches. Post size is needed.

GL	Staff Analysis	DRC Recommendation
4.71 Chimney	The top is 4'9", as seen from the north. Then it steps up to 6'6" at the base. This is on the side (north) of the structure. Discussion is encouraged.	
4.72 Eaves and overhangs	The proposed appears to meet the intents of this GL.	
4.75 Exterior materials	Siding materials appear to meet the intents of this GL.	
4.75 e /4.80 a foundation treatment	The rock appears to meet the 18" height. Support	
4.75 e Metal materials	NA	
4.82 Roofing	The standing seam (dark bronze) roof is supported.	
4.83 Porch railing	The metal railing with vertical metal balusters is on the rear (west) elevation of the house. These materials appear to meet requirements, if the applicant confirms materials and a wood element is incorporated.	

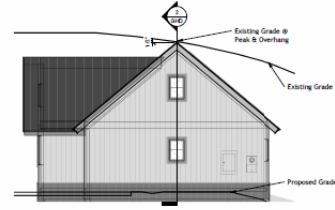
Accessory building mass/scale/form and placement (garage): Refer to GL 4.84-4.86, 4.89; The proposed accessory building is a 24'x28' gable module. Then, there is a 6'x14' gable module to the east. The main module has a 10:12 pitch with a 10:12 gable roof on the east. This must be a cold building due to the size, as proposed.



1 Garage Height
Illustration S-N
3/16" = 1'-0"



2 Garage Height
Illustration E-W
3/16" = 1'-0"

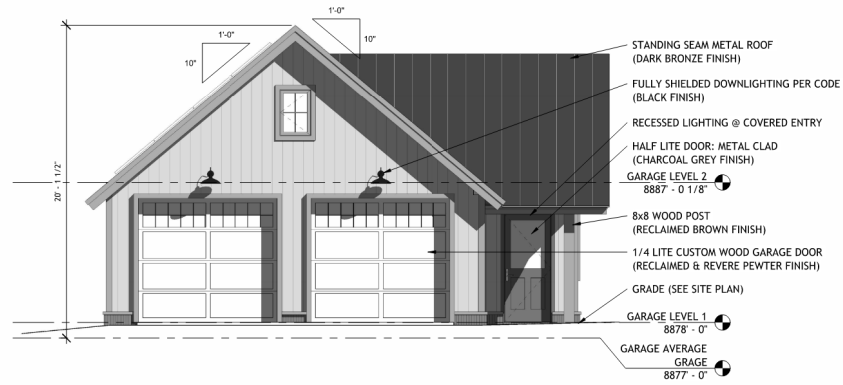


7 Garage Height
Illustration N-S
3/16" = 1'-0"

GL	Staff Analysis	DRC Recommendation
4.84 Smaller in size	The proposed building is smaller in scale than the primary building, as requested by the GL.	
4.85 Rear of the site	This building is located on the west, which is the rear of the lot. Meets GL.	
4.86 Vary appearance	This is the third accessory building within this zone. The proposed accessory appears to vary in appearance to the prior proposed accessory in the neighborhood.	
4.89 d. porches	There is a small covered porch on the south. Support.	



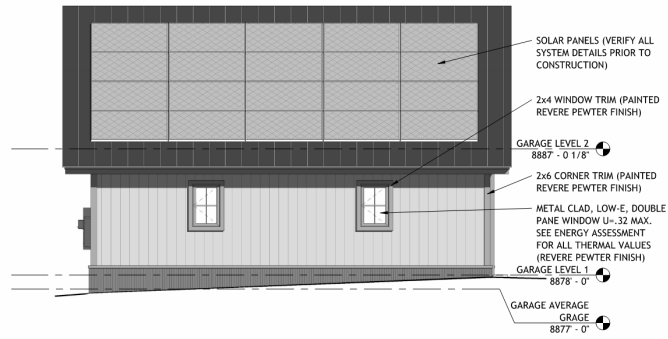
1 South East Elevation



1 South
1/4" = 1'-0"



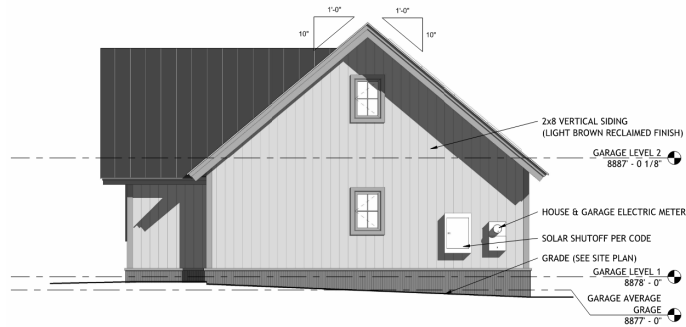
2 South West Elevation



2 West
1/4" = 1'-0"



4 North West Elevation



3 North

1/4" = 1'-0"



3 North East Elevation



a. Accessory building windows: Refer to GL4.53-4.63, 4.89;

GL	Staff Analysis	DRC Recommendation
4.53; 4.89 AB fenestration	<p>There are three gable windows, one the south, one on the north and one on the east.</p> <p>Then, there are two single windows on the west, one single window on the north and one single window and a two-pack on the east.</p> <p>All windows were revised to now incorporate divided lights. Support</p>	12/8 DRC: Overall support for window openings with the addition of divided lights. This has been added.
4.54 Vertical emphasis	Windows are proposed as two over two lite fixed casements.	Support with inclusion of divided lights
4.56 Window material	Windows are noted as aluminum clad (Revere Pewter) to match primary building. Support.	Support
4.59 Trim	Wood trim 2"x4" (Revere Pewter) is noted. Support	Support

b. Accessory building doors: Refer to GL –4.64-4.66, 4.68-4.69 4.90;

GL	Staff Analysis	DRC Recommendation
4.66 Secondary Doors	There is a ½ light person door on the south, which is noted as metal clad (charcoal finish).	Support
4.69, 4.90 Garage doors	There are garage doors proposed on the south. They are noted as ¼ lite overhead garage doors with a wood veneer (charcoal gray). Support.	Support



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c. **Accessory building materials:** Refer to GL 4.82, 4.89
The building proposes 8” reclaimed vertical siding (Light Brown). There is an 18” corrugated metal foundation cover with top cap.

Roofing is noted as standing seam (**dark bronze**).

There will be 2’x 4” wood trim (**Revere Pewter**) for windows. Corner boards will be a 2”x6” (**Revere Pewter**).

Windows are noted as casements in aluminum clad (**Revere Pewter**) with simulated divided lights.

Garage door is an overhead with wood veneer (charcoal gray). There is a ½ light person door on the south, noted as metal clad (Charcoal gray).

There will be a 8”x 8”wood post (rough charcoal gray) for overhang over person door on the south elevation.

GL	Staff Analysis	DRC Recommendation
4.82 Roofing	Standing seam is supported for the roofing.	Support
4.89 c Simple design and details	The siding, as proposed, is supported relating to the materials.	Support
4.75 Siding	Wood siding is supported by the GL.	Support
4.75 e /4.80 a foundation treatment	The 18” metal as proposed meets requirements.	
4.90 Garage door	The garage door is proposed as wood, which meets the intents of this GL.	Support

VII. Overview of DRC findings:

- **Overall support of site plan.**
- **Overall support of mass/scale form primary and accessory.**
- **Overall support of architectural appropriateness primary and accessory.**
- **Overall support for materials for primary and accessory.**

Finding (Architectural Approval)

The Board finds that the application of **Augusta Park Partners LLC** to site a single-family residence and one cold accessory building to be located at 31 Augusta Park Drive, Lot T4, Slate River Subdivision in the R1F zone **will not appear excessively similar nor dissimilar** or will appear excessively similar or dissimilar to residential structures within the surrounding neighborhood. The scale and forms of the home **are effective in incorporating** or are not effective in incorporating traditional forms seen within the surrounding R1F zone; and



(Accessory Building)

The cold accessory building (garage) appears subordinate in scale to the residence by reducing the overall mass on the site and convey relationships with historic styles. The architectural design of the buildings can be **supported** or cannot be supported based upon the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.84-4.86 (location and massing/forms, scale), 4.89 and 4.90 (materials) and _____.

The architectural design and style of the residence can be **supported** or cannot be supported per the application of Guidelines 4.25-4.26 (similarity/dissimilarity-context), 4.32-4.34 (mass/scale) and 4.35 (contemporary interpretation), 4.41-4.45 (roof form/scale), 4.49-4.52 (porches), 4.53-4.63 (windows), 4.64-4.66 (doors), 4.72, 4.75-4.76, 4.82-4.83 (materials), with the following conditions:

- Final landscape plan should be provided to the building department for Chair review and sign off if changes are proposed during the construction phase.
- The natural average grade for the purpose of measuring FAR will be 8878'3" for the primary building. The natural average grade for the purpose of measuring FAR will be 8877' for the accessory building (garage).
- Parking will be maintained and accessible on a year-round basis.
- Snow must be stored on the site or removed from the site. Snow may not be placed on the Town rights of way.
- The improvements will be constructed as per the approved plan on file at the Town offices.
- Requirements of the Colorado Model Electric Ready and Solar Ready code must be met prior to permitting, including EV ready parking space for the dwelling unit.

If approved by the Board, the approval is valid for one year from the approval date with a request for extension of up to three years administratively through Staff.

Motion (Architectural appropriateness)

Motion to **approve** or deny the architectural appropriateness for the application of **Augusta Park Partners LLC** to site a single-family residence and one cold accessory building to be located at the aforementioned address in the R1F zone (with any changes specified_____) and based upon the findings, and per the plans and material list.

Overview 01/12/2026 DRC

Members: Anderson and Davol

1. **Augusta Park Partners (45 Augusta Dr.): Staff:** Chris Penfield and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T5 in Augusta Park, which is the R1F zone. All zoning requirements are met. The following information must be included on the site plan: drainage, ground cover for disturbed areas, parking substrate and wet and dry utilities. Landscaping isn't included. Per GL 2.19 street trees are required. Solar panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Design and style of the proposed is supported by the GL. The east facing shed roof module appears atypical and discussion is encouraged. Windows appear to break floor plane. South gable dormer supported. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 19.8%, which is in the 10-20% usually seen. The fenestration is top heavy at 60.65 sf on second floor versus 72.14 sf on first floor. There is a three pack on the east elevation that must have 3.5" of trim and cannot be mulled, right now it is shown at 3". There are five window sizes on the front, GL allow for 4. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the north. The orientation of this lot precludes the allowance of placing the AB in the rear. The building steps back 14'5" from the primary building. There are other examples similar to this situation. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. There are two doors on the south, two single half light. The French door was removed. Staff finds support for all other elements of the building, as proposed.

Hadley and Penfield walked through site plan and elevations and changes. On the east elevation, they revised windows to ensure that there were only four sizes. They removed the French door from the AB. There are trees included on the east and west (aspen and spruce). The driveway is proposed as asphalt.

Site plan: Support

East: Support for fenestration

Lighting to be added

North/West/South: support. Deck posts to be added.

AB: Foundation cover height was discussed and it could be supported because it was not street facing.

Plans to be submitted by Friday for inclusion in 1/27 BOZAR packet.

2. **Augusta Park Partners (31 Augusta Dr.): Staff:** Kyle Ryan and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T4 in Augusta Park, which is the R1F zone. The height of the accessory building exceeds the 20' requirement. This must be measured from natural grade as a blanket not average. All zoning requirements are met. Trees have been moved out of utility easement on the southeast corner of the lot. Solar

panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Discussion is encouraged regarding what module is the primary module and if this meets requirement of GL 4.34 b with the change to the front module. Design and style of the proposed is supported by the GL. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 20%, which is in the 10-20% usually seen. The fenestration is slightly larger at 61.7 sf on second floor to 60.1 sf on the first floor. Discussion is encouraged to determine if this meets intents of the GL. There are window wells proposed on the east, north and south. The east proposed window well should be discussed per GL 4.63 to determine if it can be supported with the shed roof addition. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the west. This building is located in the rear. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. Windows now include divided lights. Staff finds support for all other elements of the building, as proposed.

Hadley and Ryan walked through the site plan and elevations to explain revisions. The height of the AB will be looked at. They pulled up the east ridge and the north/south ridge came down slightly to respond to December DRC's concerns. Chimney was pulled out 6" per comments from December DRC. The pavers changes a little and were reduced.

Site plan: Anderson thought that the amount of pavers might be excessive. Earley will provide comparisons to previous reviews/approvals in this area for the BOZAR meeting.

Trees will be shifted from the edge of the patio.

East: The front door was increased in size slightly and this will change the first floor to second floor calculation. Earley will revise this.

South: support

West: add lighting

Decking details: A center wood newel is included on the deck and then there will be secondary metal newels, double metal top rail.

Chimney: support

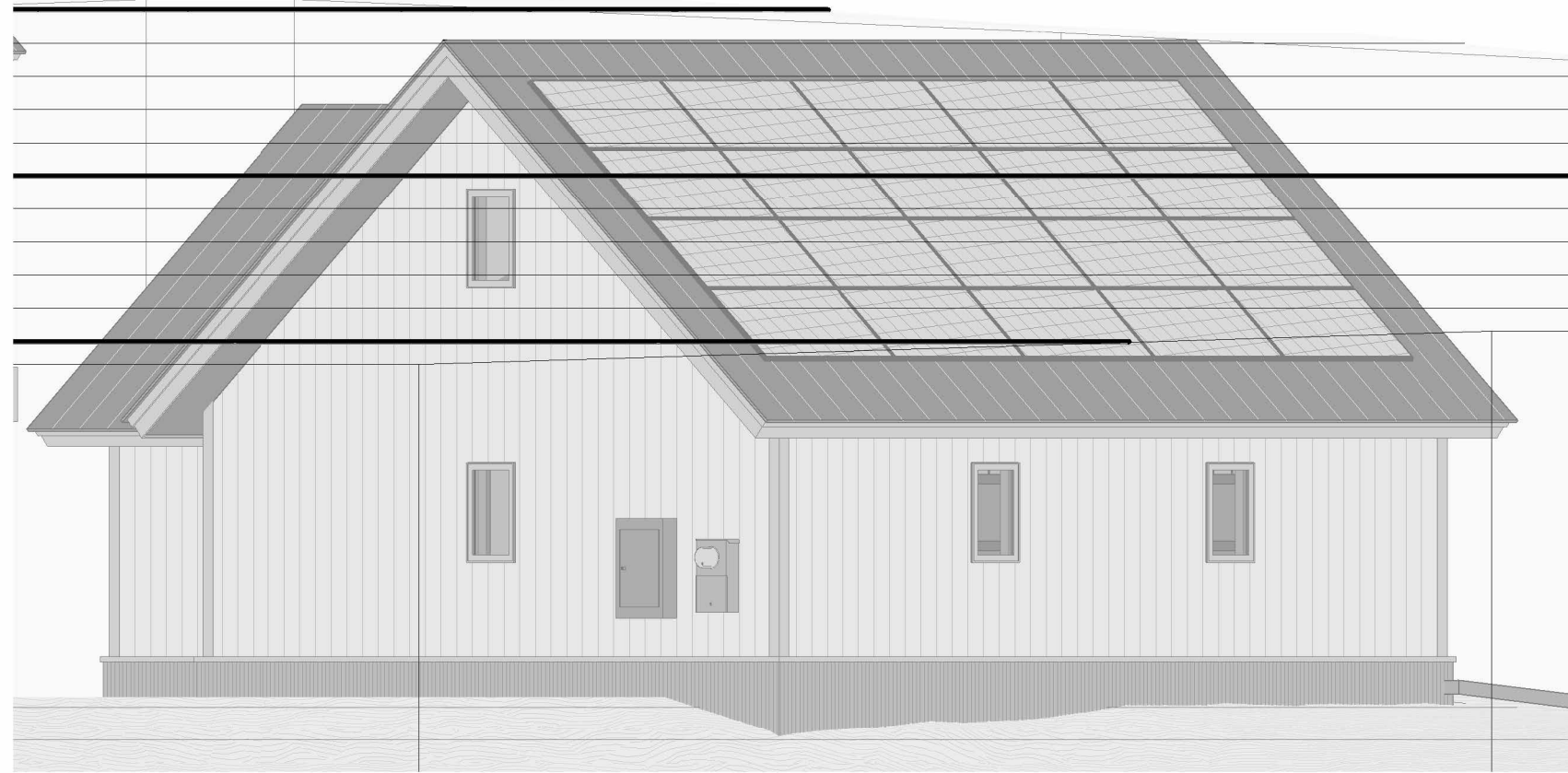
Anderson asked them to show operability for folding doors.

Plans to be submitted by Friday for inclusion in 1/27 BOZAR packet.

Augusta Park - T4

SET ISSUED	DATE

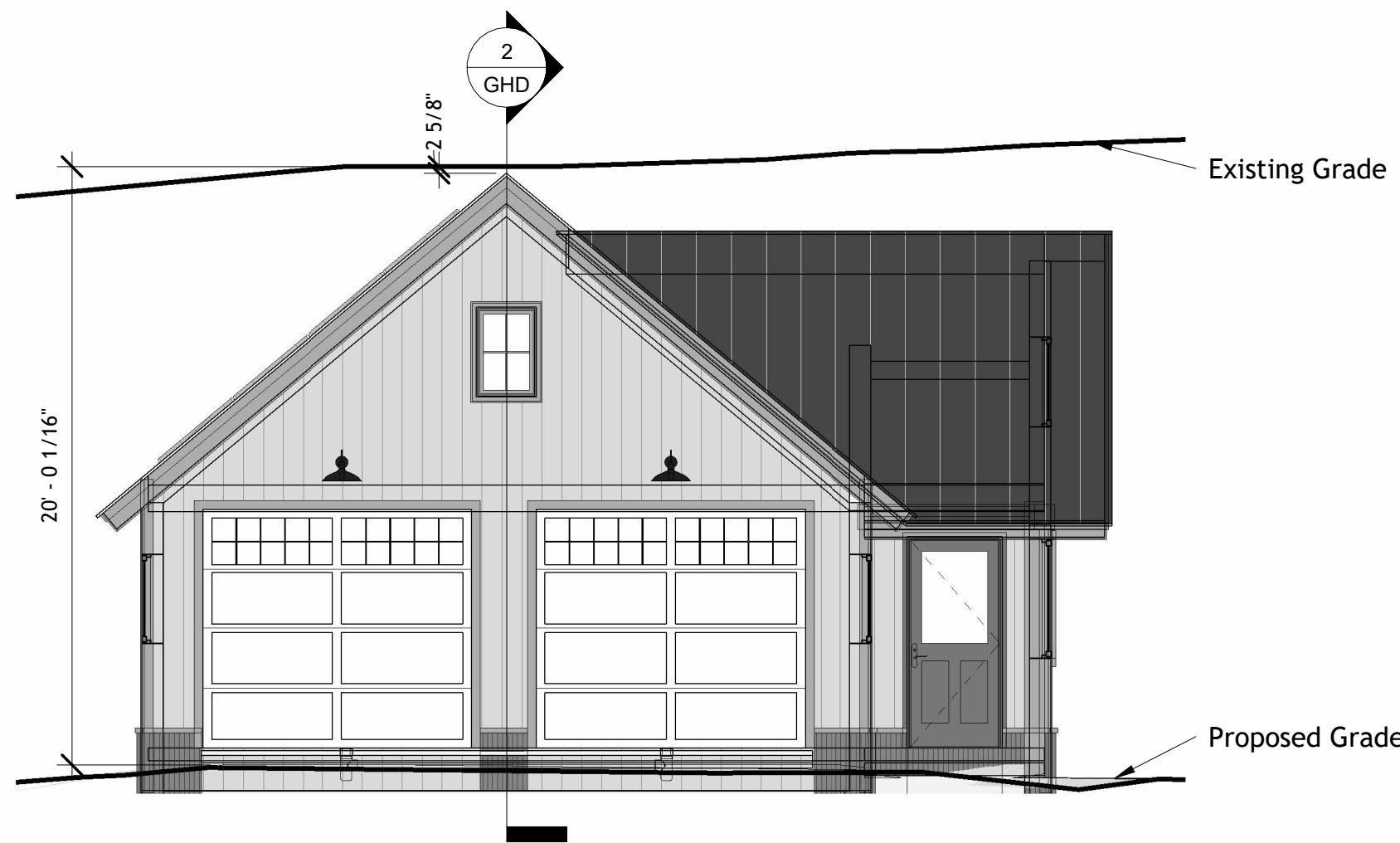
NOT FOR CONSTRUCTION



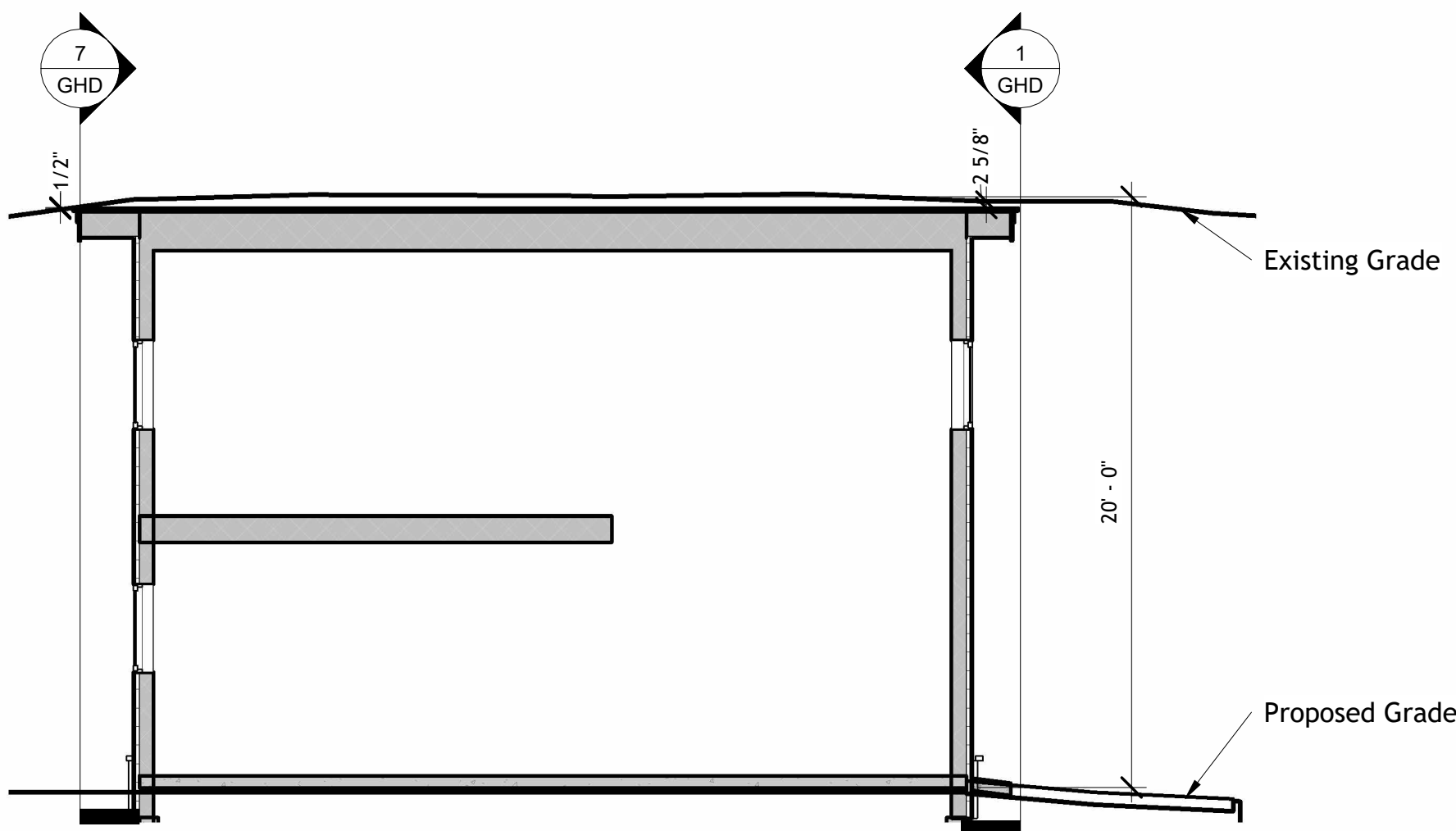
3 Garage Height NW



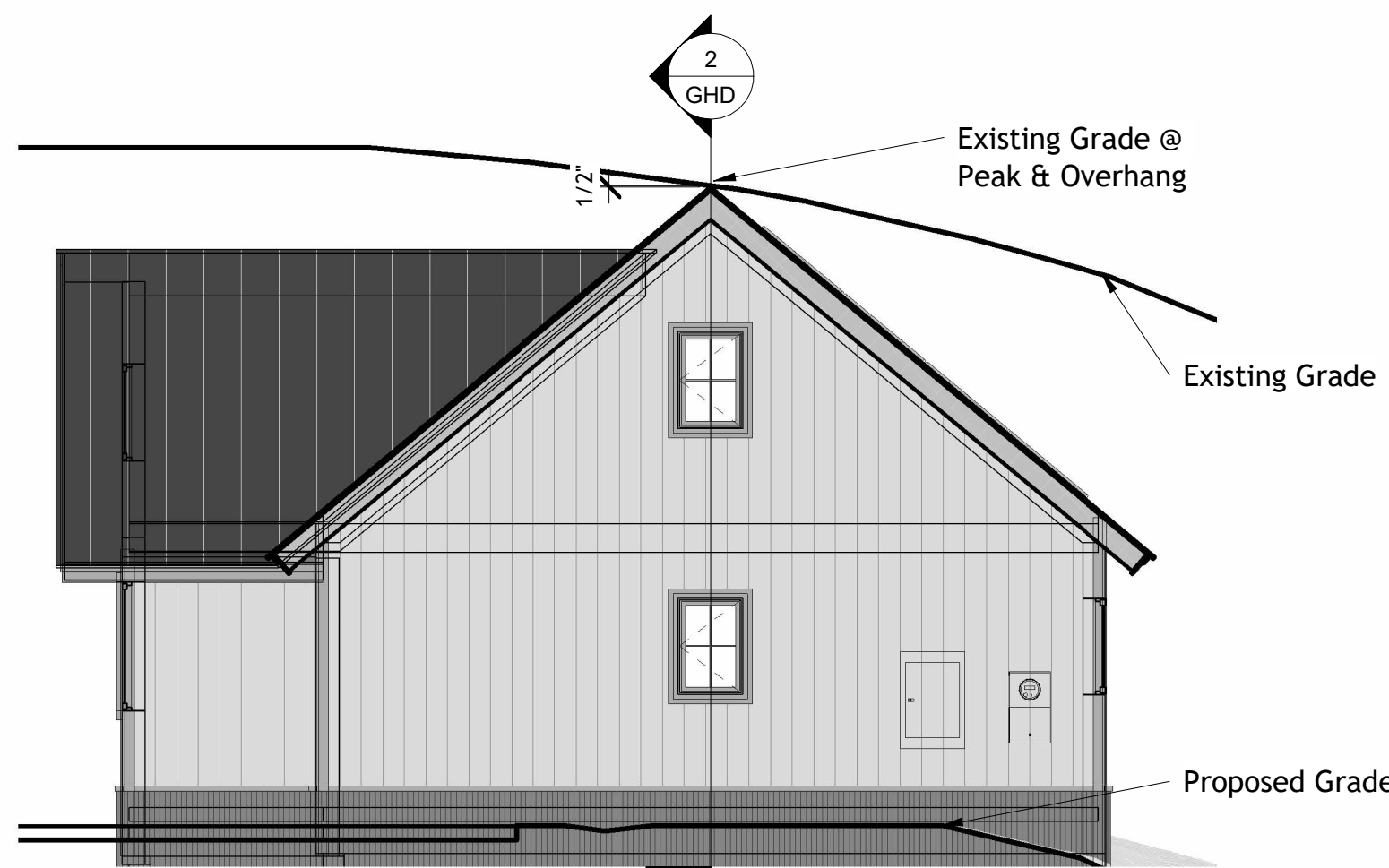
4 Garage Height NE



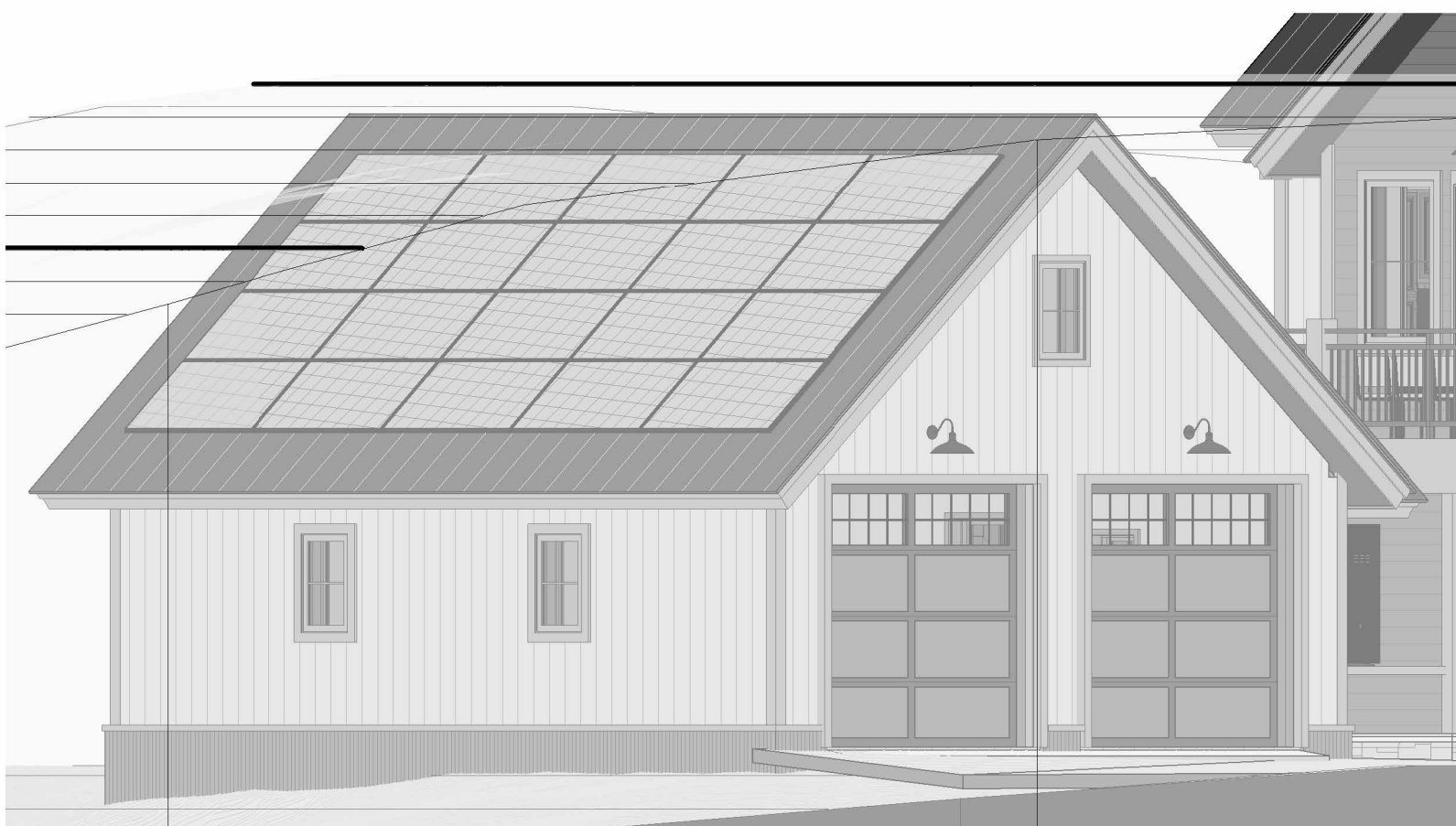
1 Garage Height Illustration S-N
3/16" = 1'-0"



2 Garage Height Illustration E-W
3/16" = 1'-0"



7 Garage Height Illustration N-S
3/16" = 1'-0"



5 Garage Height SW



6 Garage Height SE

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME Augusta Park Partners LLC

LEGAL Lot T4 Slate River Subdivision ZONE R1F

ADDRESS 31 Augusta Drive

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|--|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated
Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> 5-V Crimp |
| <input type="checkbox"/> Other _____ | | |

EXTERIOR FINISH

Siding

- | | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|-------------------------------------|-------------|----------------------------------|-----------------|--------------|
| <input checked="" type="checkbox"/> | Horizontal | Lap Siding 1X8 Amherst Gray | | |
| <input checked="" type="checkbox"/> | Vertical | Barn Wood 1X6 Light Brown | | |
| <input checked="" type="checkbox"/> | Other | Stone Cap - Tan Limestone Finish | | |
| <input type="checkbox"/> | Stucco | _____ | | |
| <input type="checkbox"/> | Trim | 2X4 - Painted Revere Pewter | | |
| _____ | | | | |

☒ Fascia 1X8 Painted Revere Pewter

☒ Corner Boards 2X6 Painted Revere Pewter

DOORS

MATERIAL

STYLE

FINISH

Primary door 1/2 Lite Wood Burgundy

Secondary door Metal Clad 1/2 Lite off white
3 Panel full lite lift and fold Black

WINDOWS

Type:

☒ Casement

☒ Casement, egress

☐ Double hung

☐ Awning

☒ Fixed

☐ Slide-by

Style:

☒ Simulated,
divided lite

☐ True, divided
lite (historic)

☐ Decorative
mullions

☐ Other

Material:

☐ Wood

☒ Aluminum
clad, wood

☐ Other

Glazing:

☒ Low E

☐ Heat mirror

☒ Tempered

☐ Standard

Other

Describe locations if a mix is used

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Roof - Standing Seam Dark Bronze

Aluminum Clad Windows - Off White

Shadow Board - 1X4 Painted Revere Pewter

8X8 Structural Post & Corbels - Reclaimed Brown finish

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE

DATE Andrew
Hadley

Digitally signed by Andrew
Hadley
DN: cn=Andrew Hadley, o=BOZAR, ou=BOZAR, email=andrew.hadley@bozar.org, c=US

ACCESSORY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME Augusta Park Partners LLC

LEGAL Lot T4 Slate River Subdivision ZONE R1F

ADDRESS 31 Augusta Drive

TYPE OF STRUCTURE

- ☐ Accessory Building, heated and/or plumbed ☒ Accessory Building, cold
- ☐ Accessory Dwelling ☐ Addition ☐ Historic Rehab
- ☐ Other _____

ROOFING TYPE

- ☐ Shake Shingle ☐ Pro Panel style ☐ Galvanized, Corrugated Metal
- ☐ Milled Shingle ☒ Standing Seam ☐ 5-V Crimp
- ☐ Other _____

EXTERIOR FINISH

Siding

- | <i>TYPE</i> | <i>SIZE</i> | <i>LOCATION</i> | <i>COLOR</i> |
|--|------------------------|-----------------|--------------|
| <input type="checkbox"/> Horizontal | | | |
| <input checked="" type="checkbox"/> Vertical | Reclaimed Random Width | | Light Brown |
| <input type="checkbox"/> Other | | | |
| <input type="checkbox"/> Stucco | | | |
| <input checked="" type="checkbox"/> Trim | 2X4 Reclaimed | | Light Brown |

31 Augusta Drive Lot -T4

Siding:



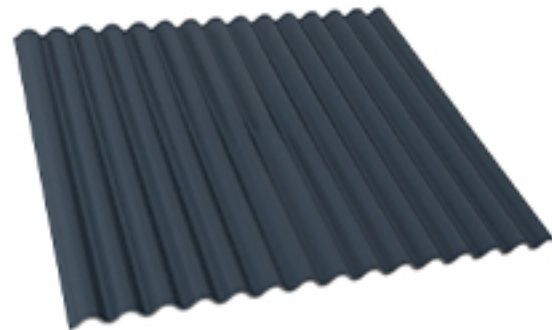
Benjamin Moore - Amherst Gray



Dry Stack Stone - Tan Limestone

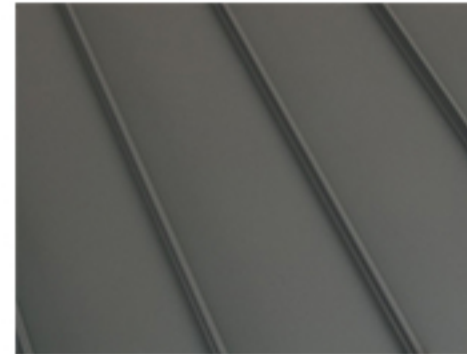


Reclaimed Light Brown Barnwood



Corrugated Metal - Charcoal Grey

Roof:



Standing Seam - Dark Bronze

Door:



Benjamin Moore- Classic Burgundy

Trim/Fascia/Windows:



Benjamin Moore- Revere Pewter



DATE	FEES PAID	APPLICANT	APPLICATION #
------	-----------	-----------	---------------

DEVELOPMENT PERMIT APPLICATION

Town of Crested Butte Building Department
PO Box 39 Crested Butte, Colorado 81224
(970) 349-5338

*Return this completed application to the Building Department with all necessary documents as identified in the Building Permit Application Requirements form.

PROJECT PHYSICAL ADDRESS	LEGAL ADDRESS	ZONE	USE TYPE
--------------------------	---------------	------	----------

APPLICANT/AGENT	MAILING ADDRESS	TELEPHONE	EMAIL
PROPERTY OWNER	MAILING ADDRESS	TELEPHONE	EMAIL
CONTRACTOR	MAILING ADDRESS	TELEPHONE	EMAIL
ARCHITECT	MAILING ADDRESS	TELEPHONE	EMAIL
ENGINEER	MAILING ADDRESS	TELEPHONE	EMAIL

BUILDING CLASSIFICATION:
SFR ☐ DUPLEX ☐ MULTIFAMILY ☐ COMMERCIAL ☐ ACC.DWELLING ☐ ACC.BUILDING ☐ HISTORIC ☐

PROJECT TYPE:
NEW CONSTRUCTION ☐ ADDITION ☐ REMODEL ☐ PLUMBING/MECHANICAL ☐ OTHER ☐

PROJECT DESCRIPTION	ESTIMATED PROJECT VALUATION
	MATERIALS_____
	LABOR_____
	TOTAL_____

DEPARTMENTAL USE ONLY

SPECIAL CONSIDERATIONS: CONDITIONAL USE PERMIT <input type="checkbox"/> _____ CONDITIONAL WAIVER <input type="checkbox"/> _____ VARIANCE <input type="checkbox"/> _____ PUD <input type="checkbox"/> _____	SETBACKS
	FRONT REAR SIDE() SIDE()
	Existing Primary Accessory
	Proposed Primary Accessory

EXISTING BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL		PROPOSED BUILDING SIZE (SQ.FT.) PRIMARY ACCESSORY TOTAL	
EXISTING FAR	PROPOSED FAR	REQUIRED SUBMITTAL DOCUMENTS <div>Limited Power of Attorney <input type="checkbox"/></div> <div>Recorded Conveyance Deed <input type="checkbox"/></div> <div>Materials Lists <input type="checkbox"/></div> <div>Plans (Full-Size & 11”x17”) <input type="checkbox"/></div> <div>Publication Fee Fee _____ <input type="checkbox"/></div>	
BUILDING WIDTH	BUILDING HEIGHT		
PARKING SPACES	% OPEN SPACE		
# OF LIVING UNITS	ZONE		
EXISTING EQR’S	PROPOSED EQR’S		

This Building Permit shall become null and void if construction is not commenced within 60 days f the date of issuance. The Building Permit shall expire one year after the date of issuance and all construction must be completed prior to the expiration of the permit; provided, however, that the building inspector may renew the Building Permit for additional six month periods FOR GOOD CAUSE SHOWN and without additional cost to the applicant.
I hereby certify that all the information provided in this application is true and correct. I understand that submittal of this application does not constitute a right to perform the work or establish the use requested. I understand that the request may be denied, approved or approved with changes or conditions. Fees that are associated with the application are not refundable. I understand that the application, if approved, must be constructed in accordance with the approved plans and conform with the Town’s architectural approval and applicable building codes. I understand that any approval will become null and void 180 days after the approval date if a permit is not purchased, or three years if a vested property right is purchased.

Signature of Contractor/Authorized Agent Date

Signature of Owner/Authorized Agent Date

Overview 12/8/2025 BOZAR

1. Augusta Park Partners (45 Augusta Dr.): Chris Penfield and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T5 in Augusta Park, which is the R1F zone. FAR is noted in the staff report as out of compliance for the primary building and overall. All other zoning requirements are met. Snow storage and parking must be included on the site plan. The topography is included, but hard to read please include callouts as they relate to each building. Natural grade lines should be included on elevations and sections to confirm height requirements. The following information must be included on the site plan: drainage, ground cover for disturbed areas, parking substrate and wet and dry utilities. Landscaping isn't included. Per GL 2.19 street trees are required. Solar panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Design and style of the proposed is supported by the GL. The east facing shed roof module appears atypical and discussion is encouraged. It doesn't meet definition of dormer. Windows appear to break floor plane. South gable dormer supported. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 20.4%, which is in the 10-20% usually seen. The fenestration is top heavy at 69.76 sf on second floor versus 56.94 on first floor. South windows appear low to the ground, which may be due to grade. There is a three pack on the east elevation that must have 3.5" of trim and cannot be mullied. There are five window sizes on the front, GL allow for 4. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the north. The orientation of this lot precludes the allowance of placing the AB in the rear. The building steps back 14'5" from the primary building. There are other examples similar to this situation. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. There are two doors on the south, one single half light and one full light french, which complicates what should be a cold shed. Staff finds support for all other elements of the building, as proposed.

12-8-25 DRC:

Donny Davol

Review site plan-

Fixed FAR with elevated deck staircase going straight down and made the house slightly smaller to get e-deck <10%

-House moved slightly to east so there is now a 16' set back on primary, 10'5" on accessory

-Floor levels were brought down as well

-label parking on floor plan and site plan

-may remove solar due to lack of solar gain on this site- they will continue to model and work on their HERS score and see where they come out on this.

- snow storage, utilities, etc need to be added to site plan
- Will plan to come back to January (first) DRC
- change windows on east elevation (front) to make the downstairs two pack same size as the second story three pack
- Donny does not have an issue with east facing shed roof module. 113 Fourth is similar.
- Bring the window break/roof break to Board for discussion (or second DRC). Maybe match sill but keep header. Work to get the windows to look more cohesive.
- working on a streetscape for the new 4 proposed projects
- 18" retaining wall off of accessory building to keep snow shed out from accessory door
- French door on accessory building- it is interior so faces primary building. They will bring a back up door plan.
- the retaining wall is currently shown in stone, but could be changed to metal to tie into remainder of wainscotting on accessory
- Discuss option for breezeway between a cold accessory and a heated accessory (all count towards same FAR)
- 2"x8" header over three pack on east elevation, 2"x6" trim
- Check FAR with Chris via Zoom prior

Plan on January 12 for DRC- need packet by December 29th

1. Augusta Park Partners (31 Augusta Dr.): Kyle Ryan and Andrew Hadley submitted plans on behalf of Augusta Park Partners for siting the new SFR and cold AB a T4 in Augusta Park, which is the R1F zone. The height of the accessory building exceeds the 20' requirement. All zoning requirements are met. Parking must be included on the floor plan. Natural grade lines should be included on elevations and sections to confirm height requirements. Trees must be moved out of utility easement on the southeast corner of the lot. Solar panels meet requirements. Exterior lighting should be included. M/S/F are supported by the GL. Discussion is encouraged regarding what module is the primary module and if this meets requirement of GL 4.34 b. Design and style of the proposed is supported by the GL. Roof forms and porches are compliant. The window to wall ratio for the front (east) is proposed as 20%, which is in the 10-20% usually seen. The fenestration is slightly larger at 61.7 sf on second floor to 60.1 sf on the first floor. Discussion is encouraged to determine if this meets intents of the GL. There are window wells proposed on the east, north and south. The east proposed window well should be discussed per GL 4.63 to determine if it can be supported with the shed roof addition. Doors supported. Materials supported, but confirm sizes overall, including deck materials.

The new cold AB is placed on the west. This building is located in the rear. Staff finds that the building is simpler and subordinate to the primary building. Staff finds compliance. Windows do not include divided lights as required by the GL. Full light windows are not supported. Staff finds support for all other elements of the building, as proposed.

- make sure to include natural grade lines on site plan
- Permeable pavers called out on site plan but perhaps an area for Board discussion
- Trees to be removed from southeast corner easement
- Talk to Shea about lift station, etc
- Discernable primary module? Which one is the primary, as outlined by the GL
- Discussion re: east elevation window well
- Accessory windows to be updated as divided lite
- New site plan: moved primary building to east 8' to put it 12' feet off of Augusta
- pulled garage 5' feet east (which will help with the height of the accessory)
- leaves 13' feet in between accessory and primary (back stairs)
- Primary ridge is running north south so it is that back one. Pull front ridge up to meet that north south ridge and drop the rear east west rear line. Potentially bring middle gable on east elevation up to same elevation as north south ridge, then step back in rear (maybe foot up on east gable and foot down on west rear roof line)
- East (front) elevation- upper floor fenestration is slightly over, so change the door slightly
- East elevation window well- is kind of only place it can go. Could put it on north side but that would be lots of snow removal.
- Chimney seems fine- Kyle just needs to verify that the venting is two feet above 10' away
- Discuss color and material at January 12 DRC meeting
- 18" wainscotting from finish grade
- North elevation- chimney module- Kyle and Andrew want to push either stone or metal and see if Board will allow it
- West deck- 8"x8" posts on deck as primaries, 6"x6" in between then metal. Double top metal railing
- Corbels on awning roofs are all wood- 6"x6"
- Height of gable on north elevation- lot of vertical- maybe propose a band board to break it
- Accessory- great solar potential
- Will add divided lite windows to accessory
- Play with chimney
- Back for January 12 DRC

Division 12 - "R1F" Residential District

Sec. 16-4-1000. - Intent of district.

The purpose for which this District is created is to provide areas for low-density residential development along with customary accessory uses. The lots in this District provide a transition between the Town and the still larger residential lots outside of Town. Accessory uses naturally and normally incidental to, and exclusively devoted to such primary residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1010. - Permitted uses.

The following uses shall be permitted in the "R1F" District:

- (1) One-family dwelling units.
- (2) Accessory buildings, incidental nonresidential uses, not heated or plumbed.
- (3) Home occupations.
- (4) Attached garages.
- (5) Detached garages as accessory buildings to the principal permitted uses.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1020. - Conditional uses.

The following uses shall be permitted as conditional uses in the "R1F" District:

- (1) Accessory dwellings in conjunction with a one-family dwelling unit.
- (2) Two-family dwelling units.
- (3) Parking areas.
- (4) Accessory buildings, incidental nonresidential uses, heated.

(Ord. No. 8, § 2, 5-18-2020; Ord. No. 2, § 3(Exh. A), 3-6-2023)

Sec. 16-4-1030. - Lot measurements.

The following shall be lot measurements for property located in the "R1F" District:

- (l) Minimum lot area: Five thousand (5,000) square feet.
- (2) Maximum lot area: Eleven thousand four hundred (11,400) square feet.

- (3) Minimum frontage: Fifty (50) feet.
- (4) Minimum front yard:
 - a. Public street: Twenty (20) feet.
 - b. Private access road: Ten (10) feet.
- (5) Minimum side yard: At least seven and one-half (7½) feet, and up to eleven and one-half (11½) feet, dependent upon snow storage and snow shed guidelines.
- (6) Minimum rear yard:
 - a. Principal building: Ten (10) feet.
 - b. Accessory building: Five (5) feet.
 - c. Wetland setback: Seven and one-half (7½) feet.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1040. - Floor areas.

The following shall regulate measurements for floor areas located in the "R1F" District:

- (1) Minimum floor area: Four hundred (400) square feet for each residential unit.
- (2) Maximum floor area:
 - a. Accessory building, including an accessory dwelling, if any: one thousand (1,000) square feet or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.
 - b. Accessory dwelling: one thousand (1,000) square feet of floor area or two-thirds ($\frac{2}{3}$) of the floor area of the principal building, whichever is smaller.
- (3) Maximum floor area ratio:
 - a. The principal building shall not exceed two thousand eight hundred (2,800) square feet.
 - b. All buildings shall not be larger than three thousand eight hundred (3,800) square feet in the aggregate.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1050. - Building measurements.

The following shall regulate measurements for buildings located in the "R1F" District:

- (1) Maximum building height:
 - a. Principal building: Thirty (30) feet.
 - b. Accessory building: Twenty (20) feet or the height of the principal building, whichever is less.
 - c.

Accessory dwelling: Twenty-four (24) feet or the height of the principal building, whichever is less.

(2) Maximum building width: Thirty-five (35) feet.

(Ord. No. 8, § 2, 5-18-2020)

Sec. 16-4-1060. - Additional provisions.

- (a) Primary and accessory residential buildings shall be oriented on a north-south or east-west axis.
- (b) Open space required: Fifty percent (50%) of the lot area shall be open, unencumbered and free of any building or structure.
- (c) Minimum exterior wall height shall be seven (7) feet.
- (d) Minimum vertical distance from eave line of roof to the finished grade level shall be six (6) feet.
- (e) Slope of roof shall be a minimum of 4:12.

(Ord. No. 8, § 2, 5-18-2020)