

NOTE: RENDERINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

PROPERTY ADDRESS

322 MAROON AVE
CRESTED BUTTE, CO 81224

LEGAL DESCRIPTION

TRACT 3, BLOCK 22

APPLICABLE CODES

- THE FOLLOWING ARE THE ARCHITECT'S UNDERSTANDING OF THE CURRENTLY ADOPTED CODES OF THE TOWN OF CRESTED BUTTE, INCLUDING LOCAL AMENDMENTS:
- 2021 INTERNATIONAL RESIDENTIAL CODE
 - 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2021 INTERNATIONAL MECHANICAL CODE
 - 2021 INTERNATIONAL PLUMBING CODE
 - 2021 NATIONAL ELECTRICAL CODE
 - 2021 INTERNATIONAL FIRE CODE

AREA TABULATIONS

	EXISTING	PROPOSED	GARAGE/ADU	UNCOUNTED
FIRST FLOOR	987	987+715	416	0000
SECOND FLOOR	217	217+84	395	0000
BASEMENT	0000	0000	0000	1106
SHED	220	220	0000	0000
TOTAL	1424	1985	811	1106
		TOTAL	3016	

INSULATION SCHEDULE - CLIMATE ZONE 7

	R10	R15/19	R38	R5+20	R49
SLABS	●				
BASEMENT WALL		●			
CRAWLSPACE WALL		●			
FLOORS			●		
WALLS				●	
CEILING/ROOF					●

INSULATION NOTES

1. WOOD FRAME WALLS CAN BE R20 W/ R5 CONTINUOUS OR R13 W/ R10 CONTINUOUS
2. BASEMENT AND CRAWLSPACE WALLS CAN BE R19 ON THE INTERIOR CAVITY OR R15 CONTINUOUS INSULATION ON THE EXTERIOR OR INTERIOR
3. DUCT INSULATION TO BE R8 MINIMUM IF LOCATED OUTSIDE OF CONDITIONED SPACE
4. HOT WATER PIPE INSULATION TO BE R3 MINIMUM ON PIPES 3/4" OR LARGER IF LOCATED OUTSIDE OF CONDITIONED SPACE
5. CONTRACTOR TO PROVIDE WEATHER STRIPPING AND INSULATION TO ACCESS HATCHES & DOORS LEADING TO ATTIC AND CRAWLSPACE
6. REFER AS FOR FENESTRATION REQUIREMENTS

REVISION LOG

REVISION NO.	REVISION DATE	REVISION NAME
-	00.00.0000	REVISION 00

INDEX OF DRAWINGS

ARCHITECTURAL

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<input type="checkbox"/>		A1.01	GENERAL NOTES / OUTLINE SPECIFICATIONS
<input checked="" type="checkbox"/>	11.03.25	A1.02	SITE PLAN / ROOF PLAN
<input checked="" type="checkbox"/>	11.03.25	A2.01	FIRST FLOOR PLAN
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<input checked="" type="checkbox"/>	11.03.25	A3.02	EXTERIOR ELEVATIONS
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<input type="checkbox"/>		A6.02	EXTERIOR DETAILS
<input type="checkbox"/>		A7.00	INTERIOR ELEVATIONS KEY PLANS
<input type="checkbox"/>		A7.01	INTERIOR ELEVATIONS
<input type="checkbox"/>		A7.02	INTERIOR ELEVATIONS
<input type="checkbox"/>		A8.01	REFLECTED CEILING PLANS
<input type="checkbox"/>		A8.02	REFLECTED CEILING PLANS
<input type="checkbox"/>		A9.01	FLOOR FINISH PLANS
<input type="checkbox"/>		A9.02	FLOOR FINISH PLANS

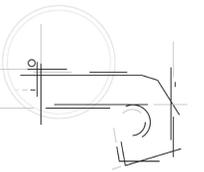
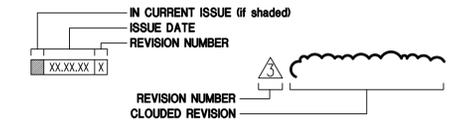
ELECTRICAL

<input type="checkbox"/>		E2.00	ELECTRICAL NOTES & SCHEDULE
<input type="checkbox"/>		E2.01	FIRST FLOOR LIGHTING & ELECTRICAL PLAN
<input type="checkbox"/>		E2.02	SECOND FLOOR LIGHTING & ELECTRICAL PLAN

STRUCTURAL

<input type="checkbox"/>		S1.01	GENERAL NOTES / FOUNDATION DETAILS
<input type="checkbox"/>		S2.01	FOUNDATION PLAN
<input type="checkbox"/>		S2.02	SECOND FLOOR & ATTIC FRAMING PLANS
<input type="checkbox"/>		S2.03	ROOF FRAMING PLANS / DETAILS
<input type="checkbox"/>		S3.01	FRAMING DETAILS
<input type="checkbox"/>		S3.02	FRAMING DETAILS

DRAWING ISSUE:



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322 MAROON AVE
BLOCK 22; LOTS 3-6
CRESTED BUTTE, CO

Design Review
NOT FOR CONSTRUCTION

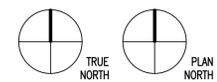
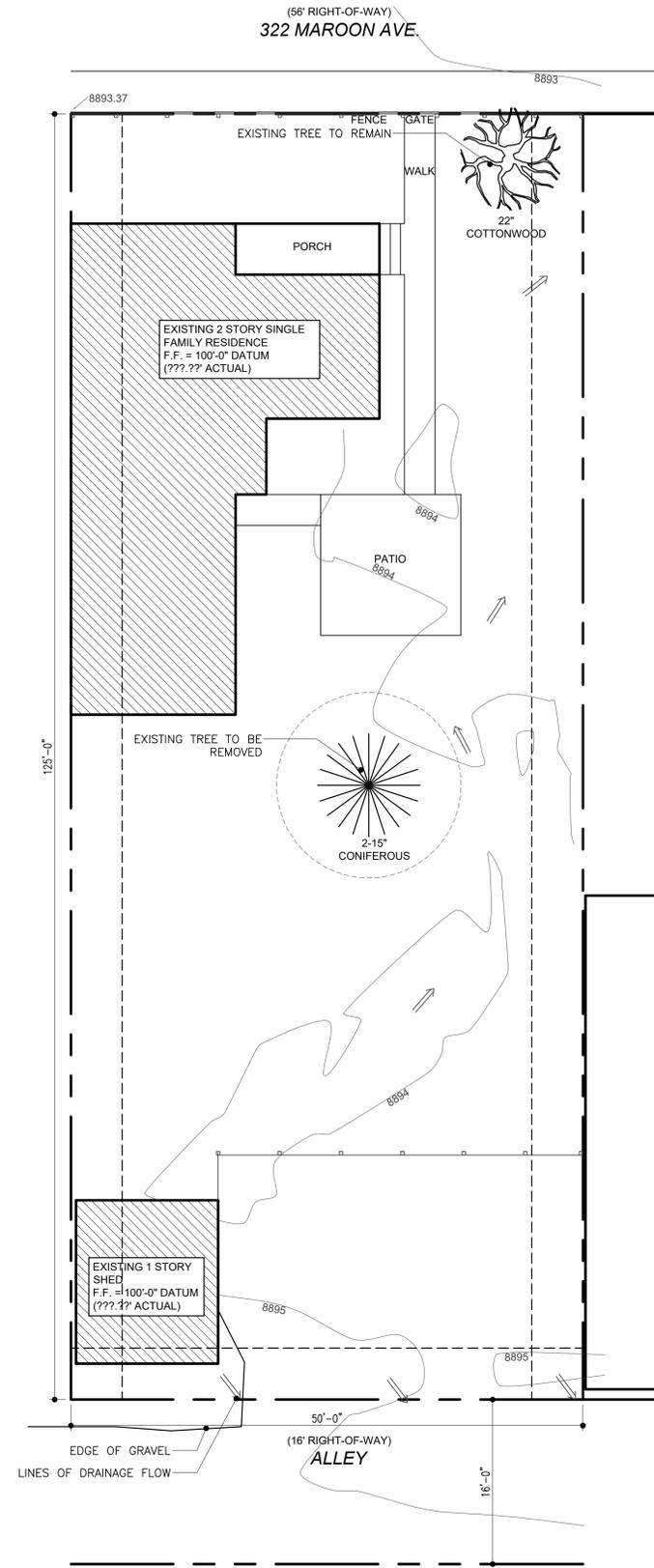
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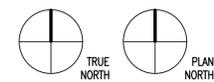
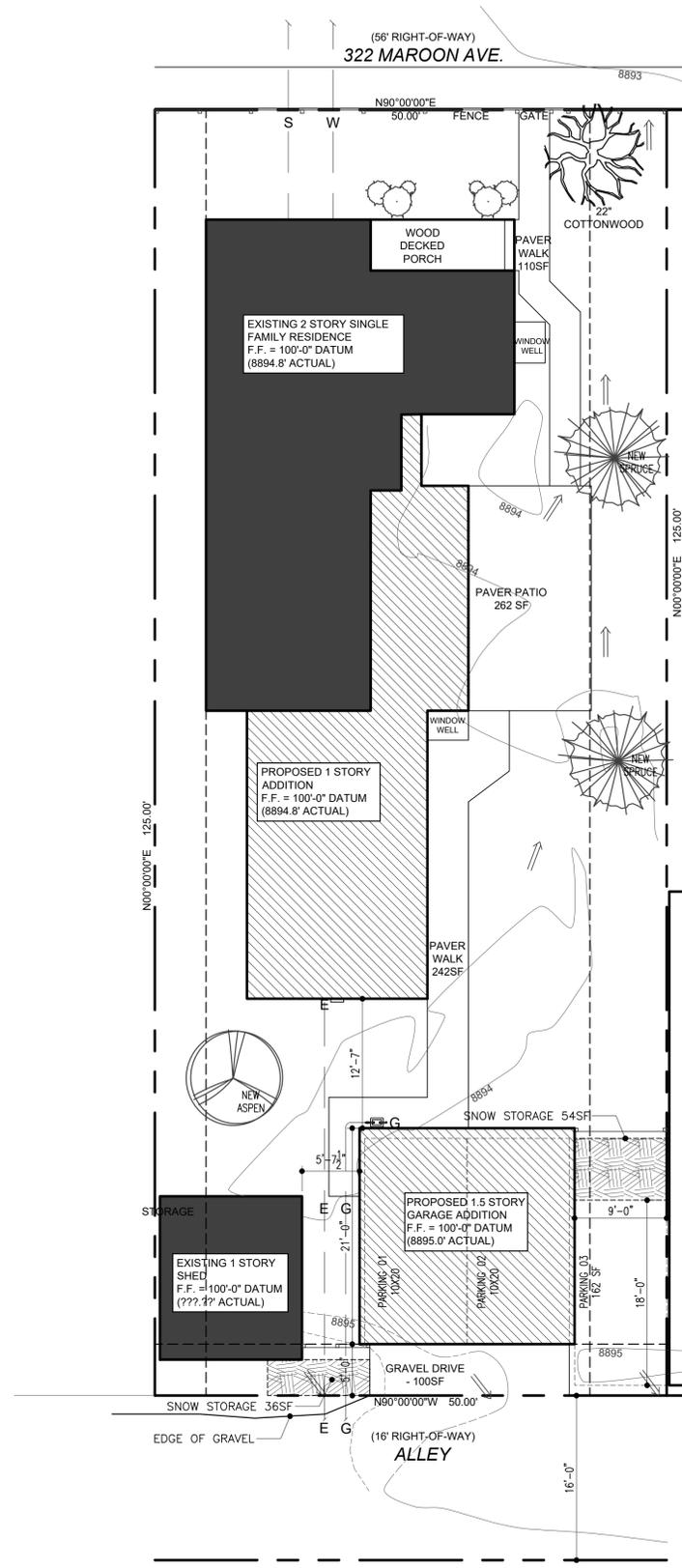
COVER SHEET /
INDEX

A1.00

322 MAROON
RENOVATION/ADDITION



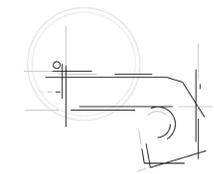
01 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



01 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN NOTES

1. REFERENCE LANDSCAPE ARCHITECT FOR SITE DRAINAGE
2. REFERENCE LANDSCAPE ARCHITECT FOR SITE IMPROVEMENTS
3. DRIP EMITTERS TO BE INSTALLED AT ALL BEDDING AREAS
4. WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY



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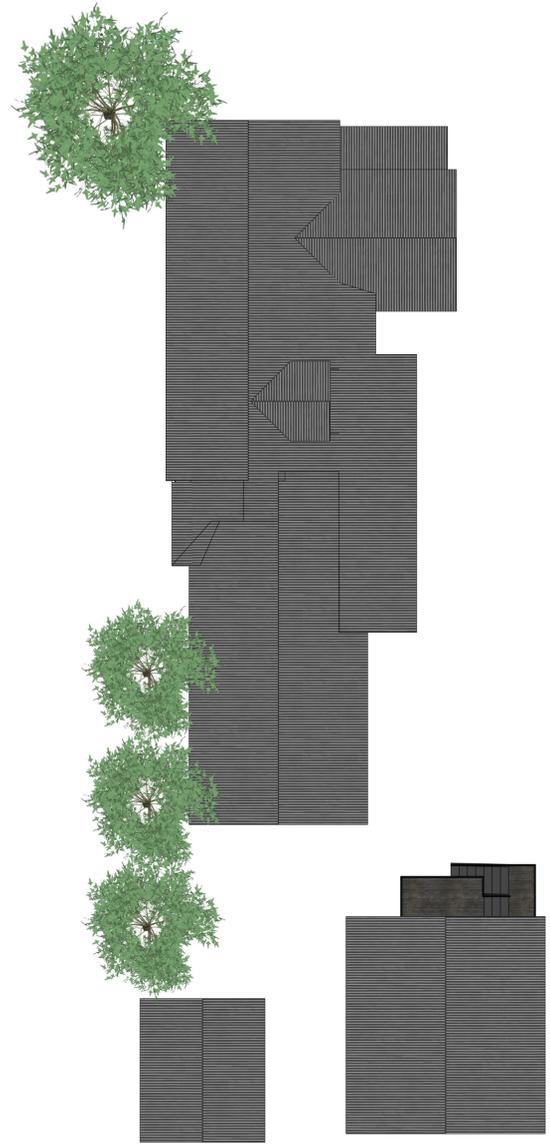
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SITE PLAN

A1.02



ROOF PLAN NOTES

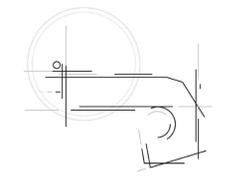
- GUTTERS TO BE 6" DIAMETER HALF-ROUND PAINT GRIP W/ 4" DOWNSPOUT
- ALL DOWNSPOUTS TO BE ROUTED TO SUBSURFACE FOR DRAINAGE
- ARROWS INDICATE DOWNWARD SLOPE OF ROOF

ROOF PLAN LEGEND

	*RT-1A*
	*RT-2A*
	*MT-1A*



01 ROOF PLAN
SCALE: 1/8"=1'-0"



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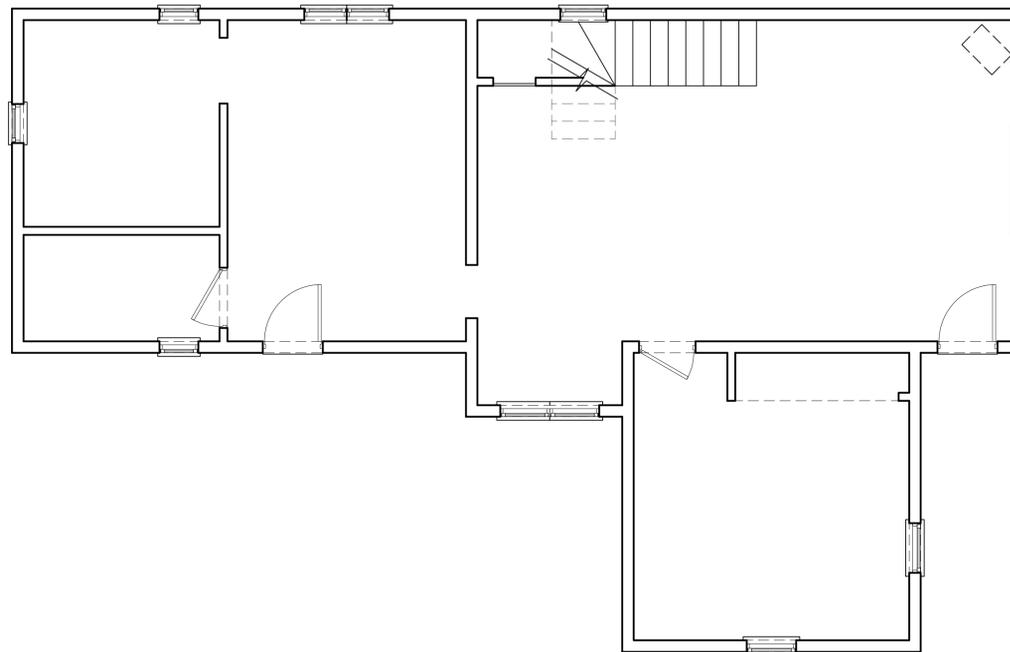
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OF PLAN

A1.03



02 EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

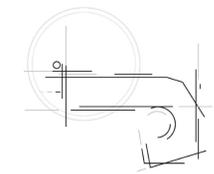
- STONE/BRICK VENEER OVER FRAME CONSTRUCTION
- WOOD SIDING OVER FRAME CONSTRUCTION
- STAGGERED 2x4 STUD WALL WITH SOUND BATTS REFER DETAIL A1.01.04

KEY

- ROOM NAME & NUMBER
- DOOR NUMBER
- WINDOW TYPE

GENERAL NOTES

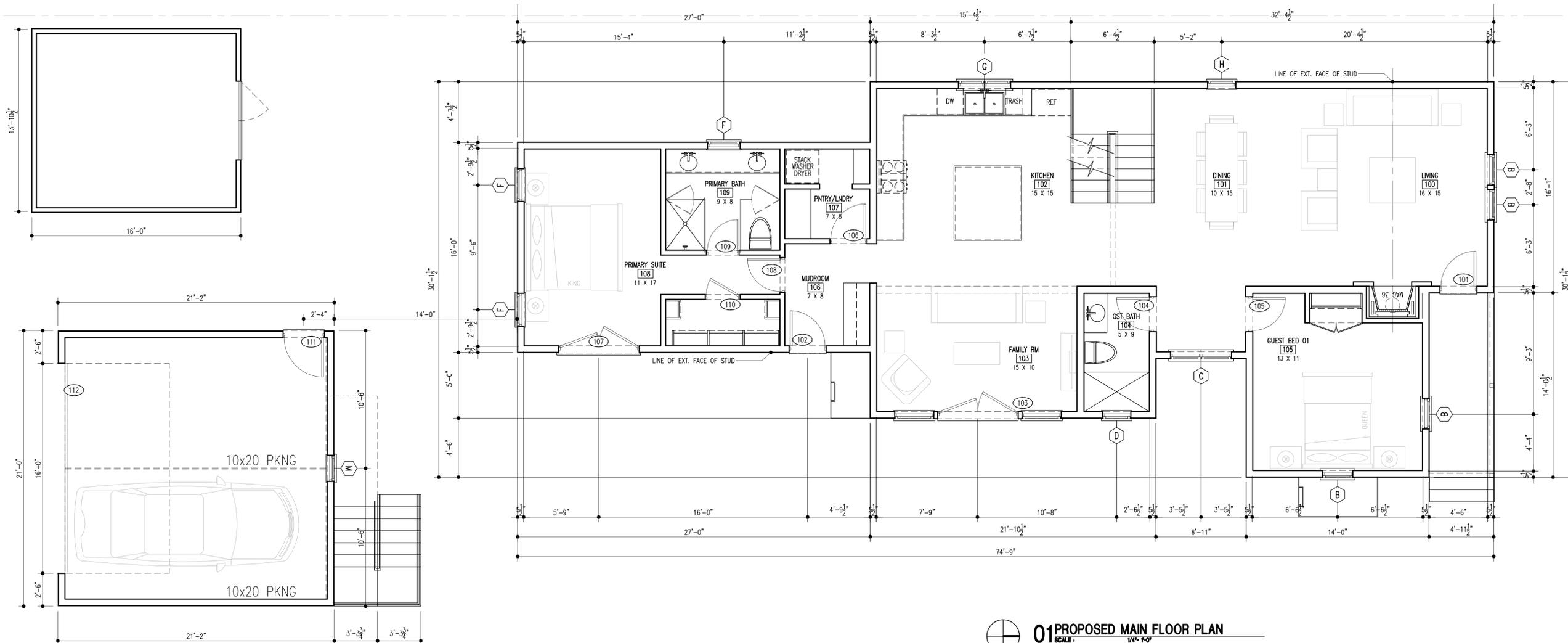
1. ALL DIMENSIONS TO FACE OF STUD U.N.O.
2. DIMENSIONS NOTED W/ AN ASTERISK (*) ARE TO FINISH MATERIAL
3. ELEVATION DROPS AT SHOWERS NOTED ON A2 ARE TO SUBFLOOR; SHOWER FLOOR SYSTEM AND/OR FINISH TPO SLOPE TO DRAIN
4. REFER A9 SHEETS FOR FINISH MATERIAL ELEVATION CHANGES
5. REFER SHEET A1.01 DIV. 10 FOR SPECIALTIES NOTES
6. REFER SHEET A1.01 DIV. 11 FOR EQUIPMENT NOTES
7. REFER SHEET A1.01 DIV. 13 FOR SPECIAL CONSTRUCTION NOTES
8. REFER SHEET A1.01 DIV. 22 FOR PLUMBING NOTES
9. REFER SHEET A1.01 DIV. 23 FOR HVAC NOTES
10. FOR GARAGE SEPARATION FROM MAIN HOUSE REFER CODE (IBC R309.2)



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01 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

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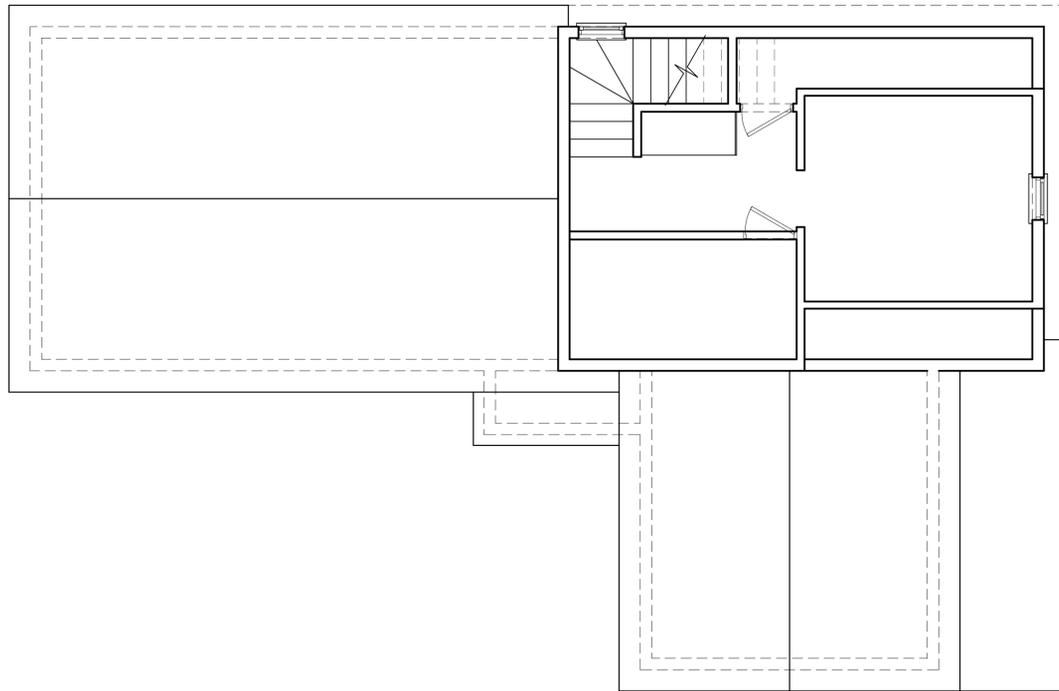
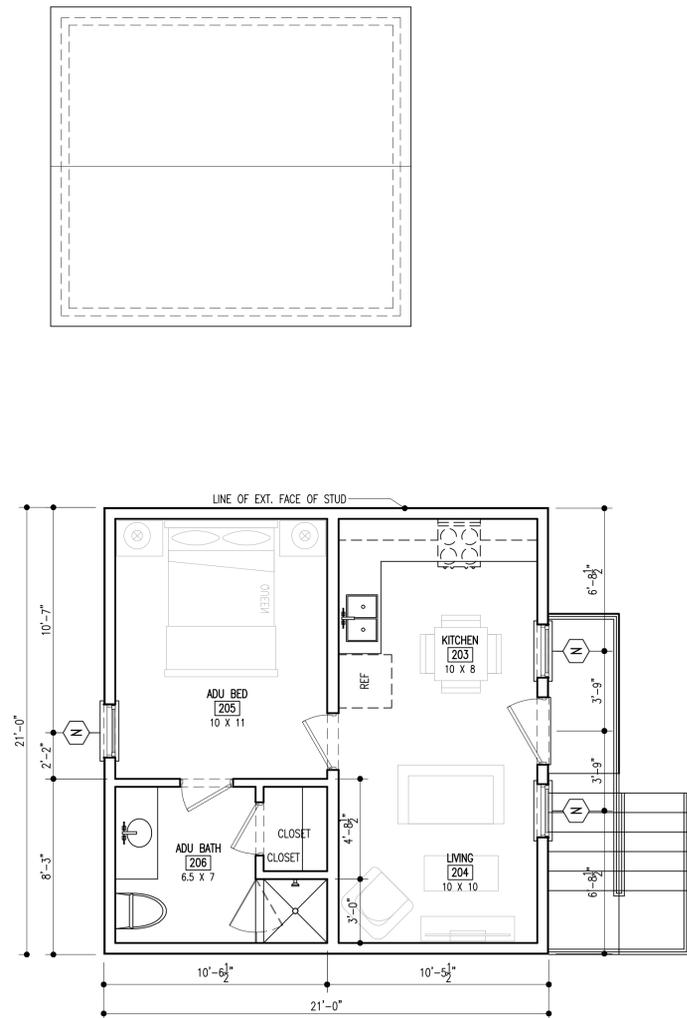
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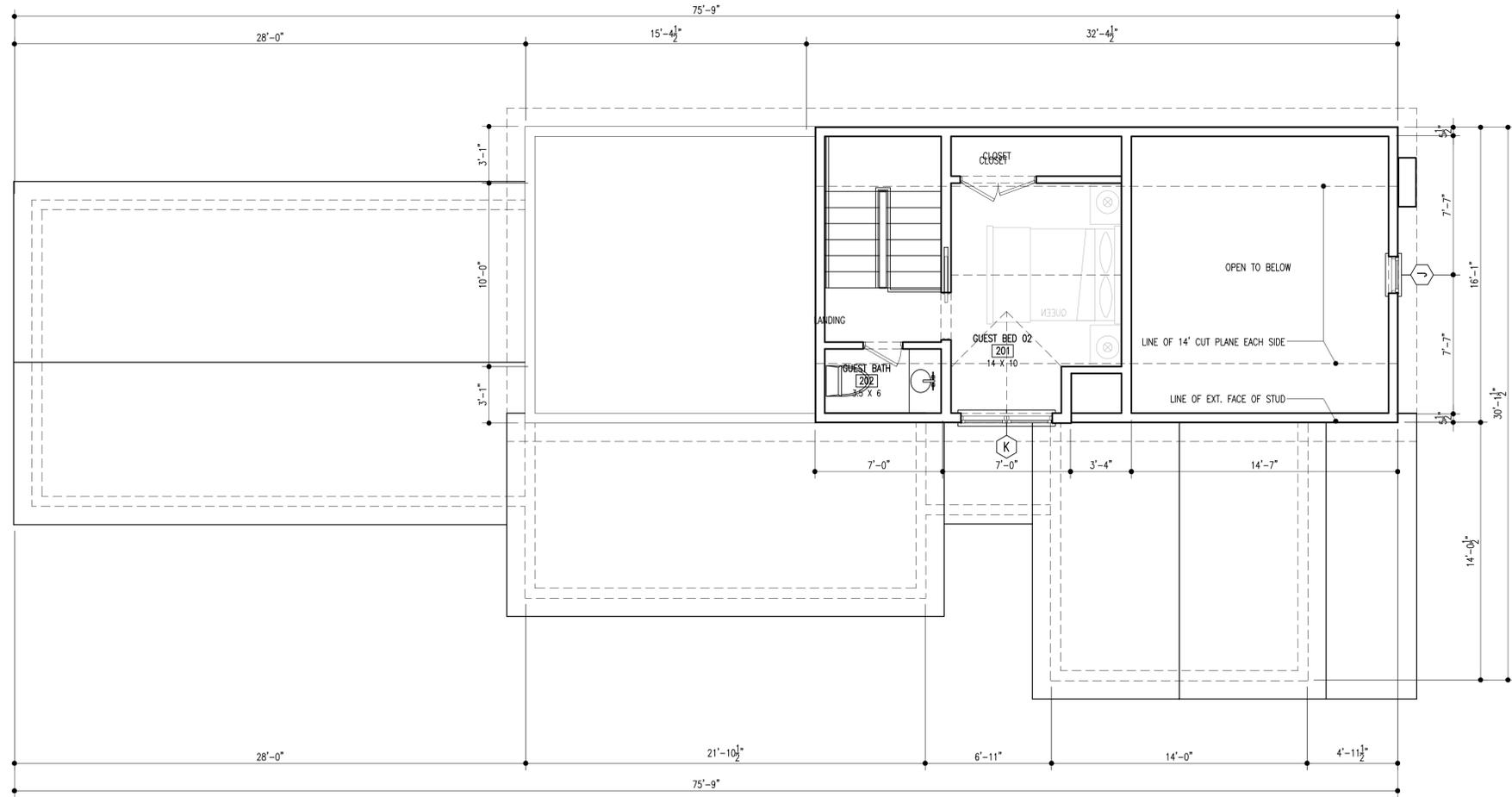
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MAIN FLOOR PLAN

A2.01



02 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



01 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

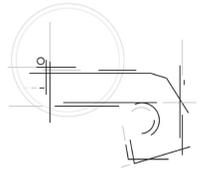
- STONE/BRICK VENEER OVER FRAME CONSTRUCTION
- WOOD SIDING OVER FRAME CONSTRUCTION
- STAGGERED 2x4 STUD WALL WITH SOUND BATTS REFER DETAIL A1.01.04

KEY

- ROOM NAME & NUMBER
- DOOR NUMBER
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SECOND FLOOR PLAN

A2.02

LEGEND

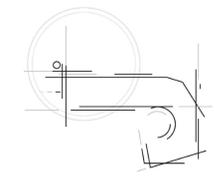
-  STONE/BRICK VENEER OVER FRAME CONSTRUCTION
-  WOOD SIDING OVER FRAME CONSTRUCTION
-  STAGGERED 2x4 STUD WALL WITH SOUND BATTS REFER DETAIL A1.01.04

KEY

-  ROOM NAME & NUMBER
-  DOOR NUMBER
-  WINDOW TYPE

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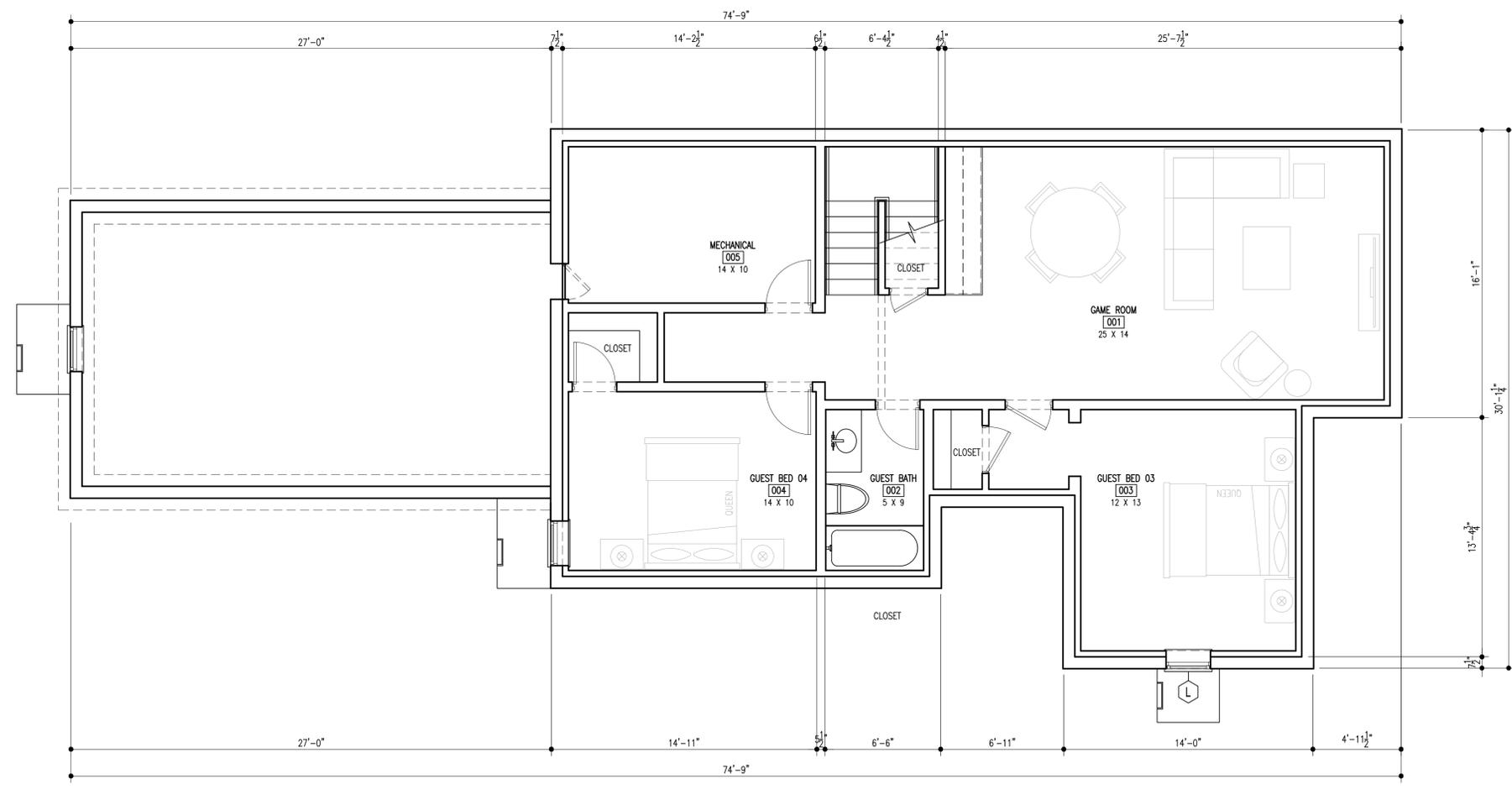
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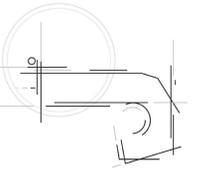
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BASEMENT FLOOR PLAN

A2.03



01 PROPOSED BASEMENT PLAN
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322 MAROON AVE
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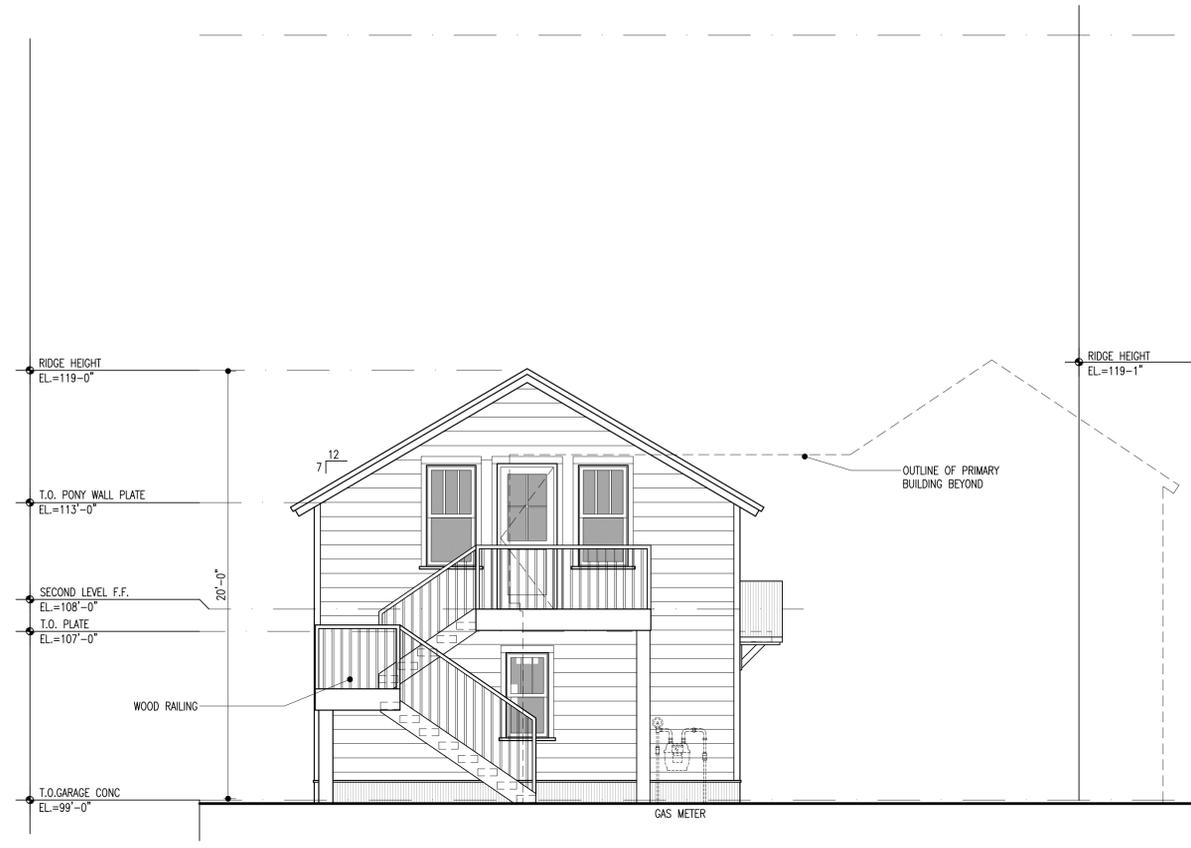
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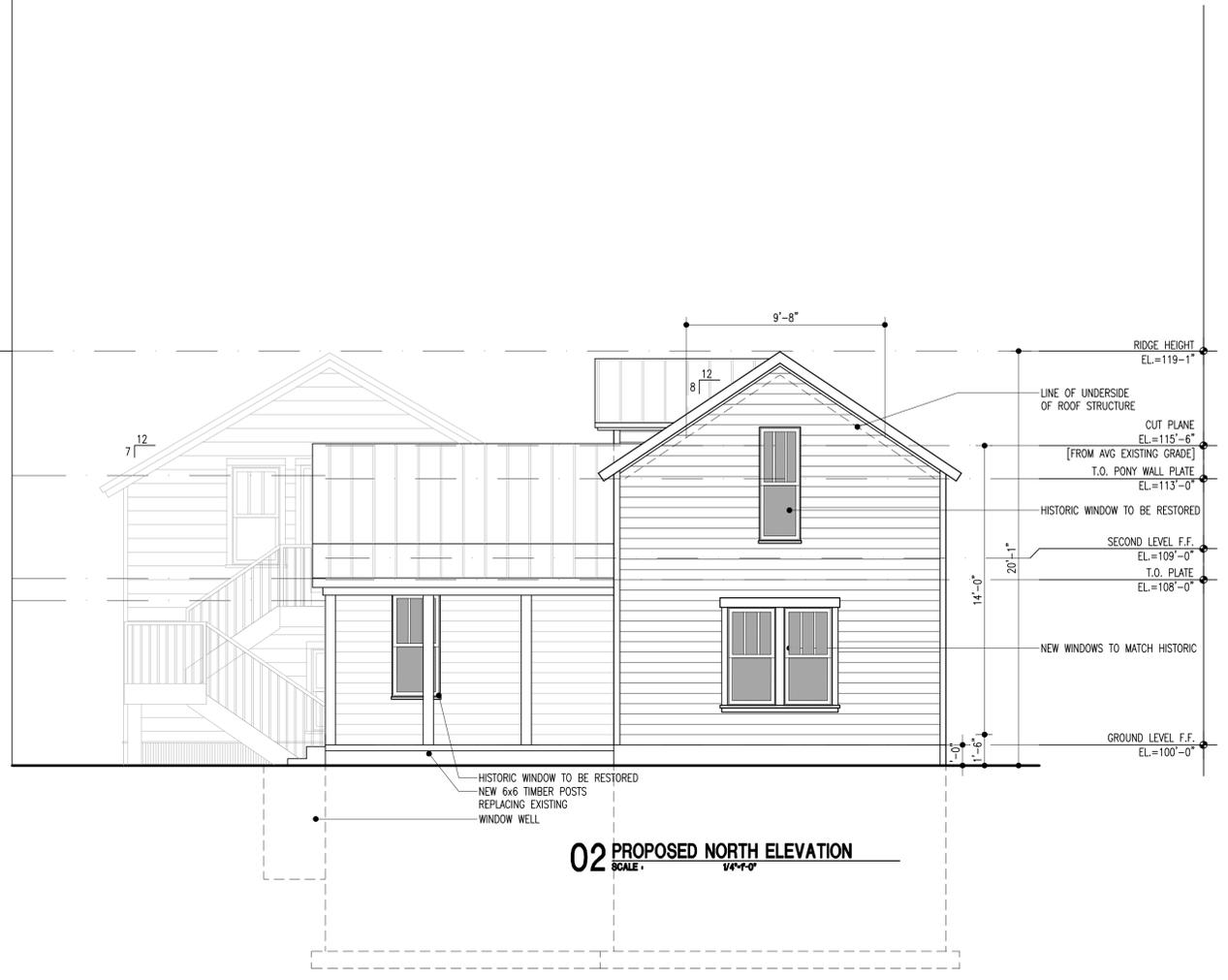
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EXTERIOR ELEVATIONS

A3.01



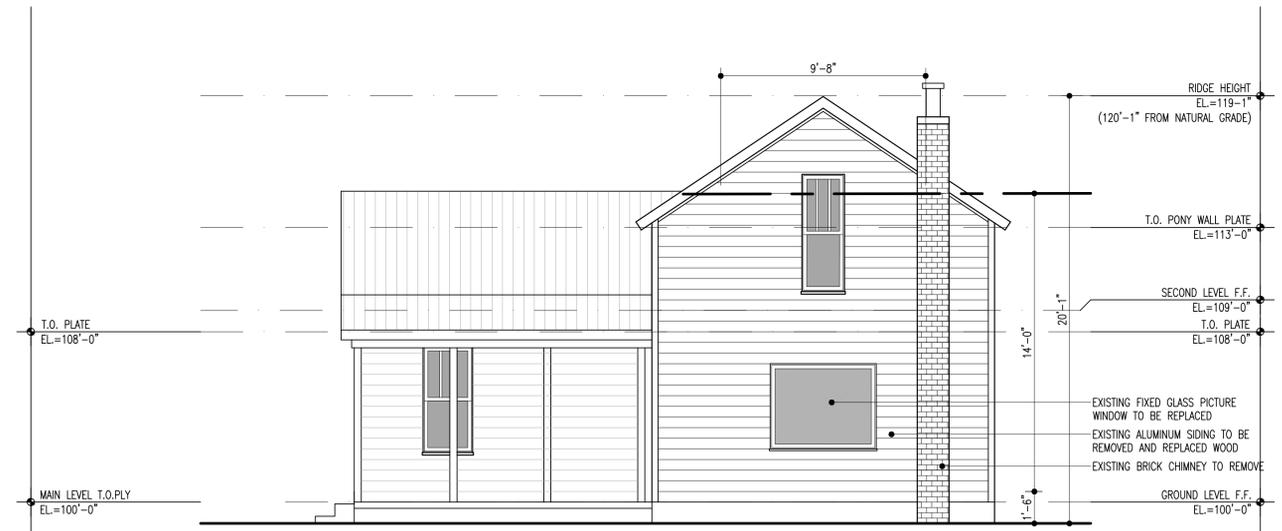
03 PROPOSED NORTH ADU ELEVATION
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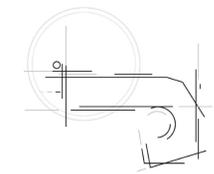
02 PROPOSED NORTH ELEVATION
 SCALE: 1/4"=1'-0"



ORIGINAL PHOTO OF 322 MAROON STREET ELEVATION. THE FIRST FLOOR HAD TWO WINDOWS AND AN ENTRY DOOR. (NO CHIMNEY ON FRONT) IN AN EFFORT TO RETURN TO A MORE HISTORIC REPRESENTATION OF HOME, THE CHIMNEY WILL BE REMOVED AND TWO MATCHING HISTORIC WINDOWS WILL REPLACE THE PICTURE WINDOW ON THE FRONT ELEVATION.



01 EXISTING NORTH ELEVATION
 SCALE: 1/4"=1'-0"



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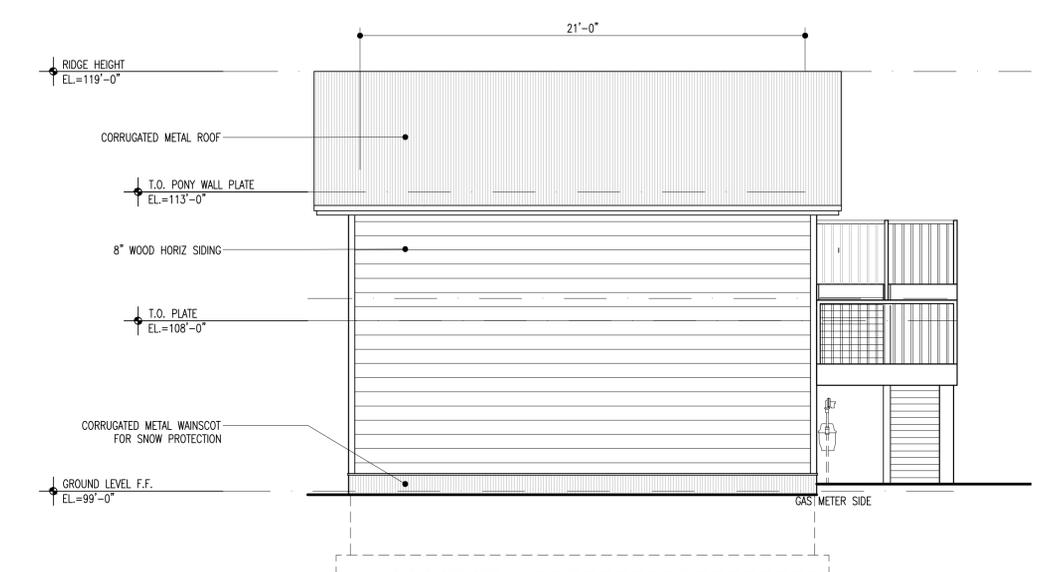
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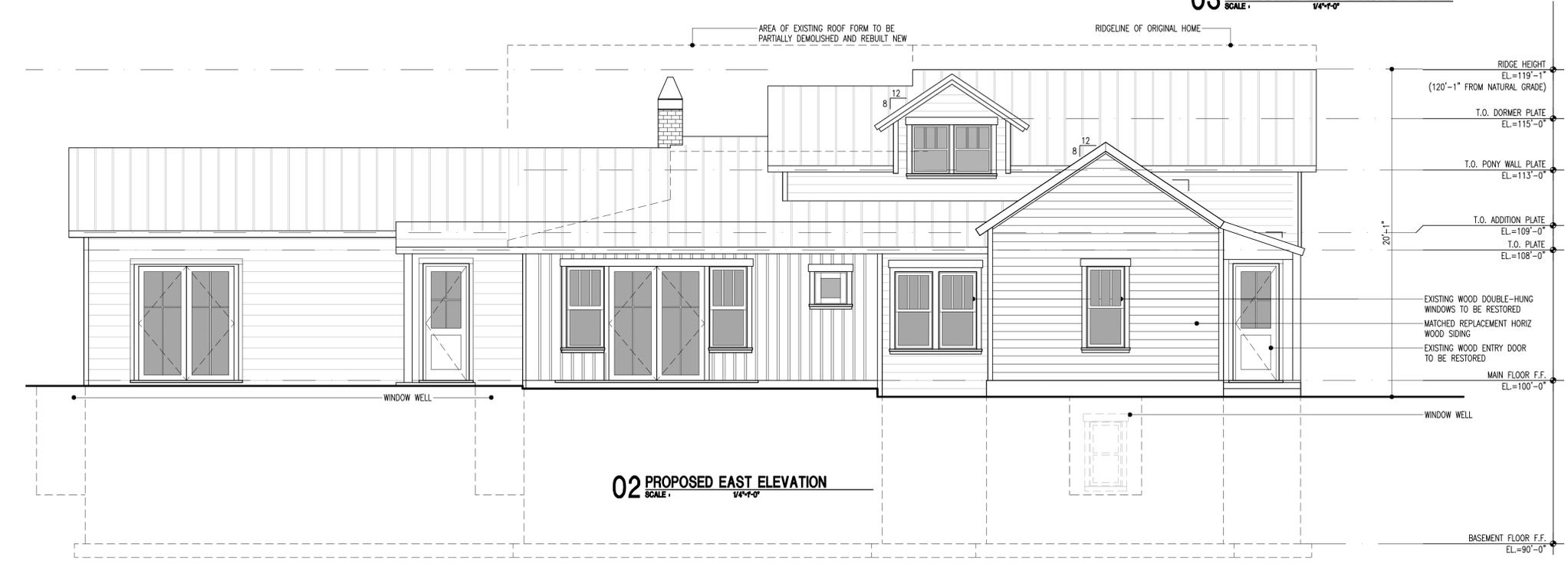
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EXTERIOR ELEVATIONS

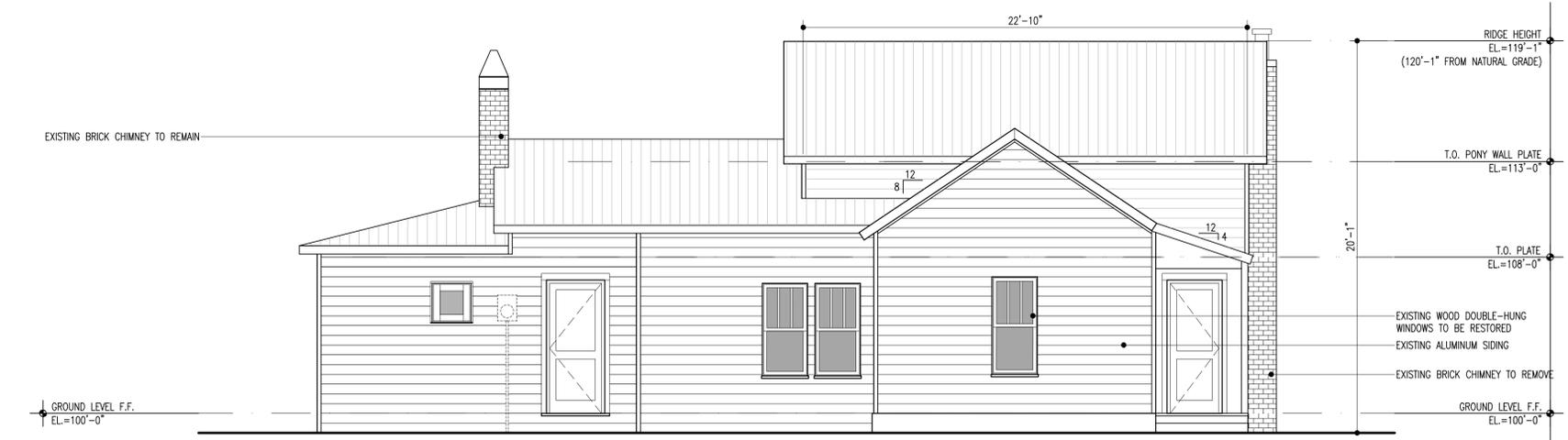
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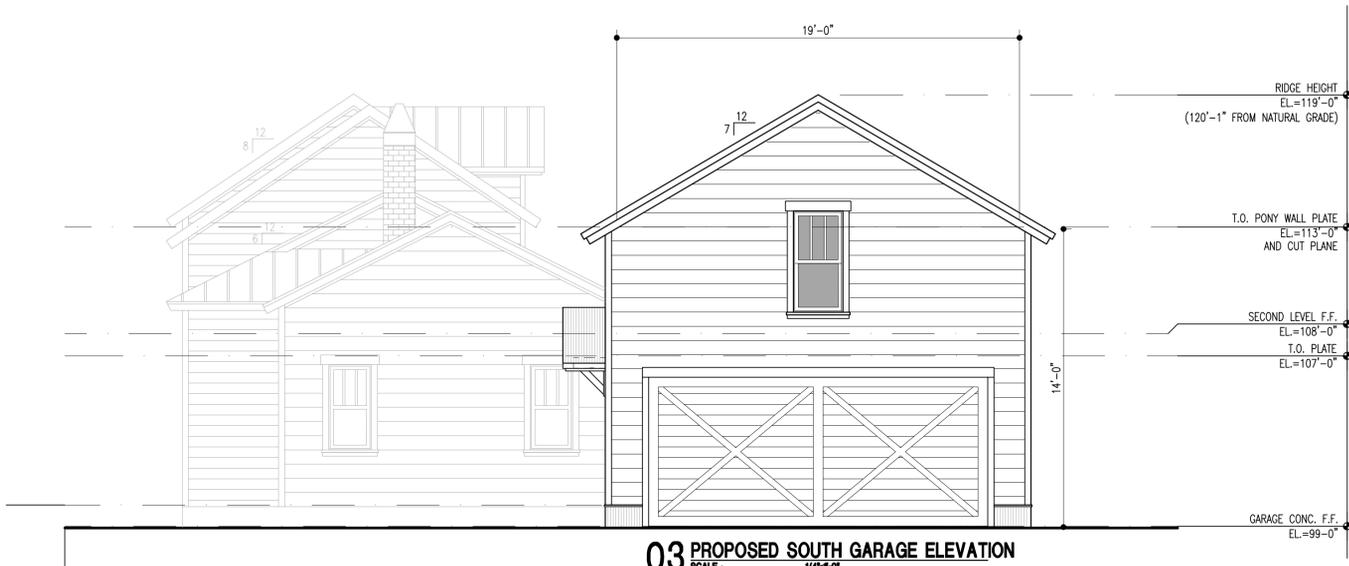
03 PROPOSED EAST GARAGE ELEVATION
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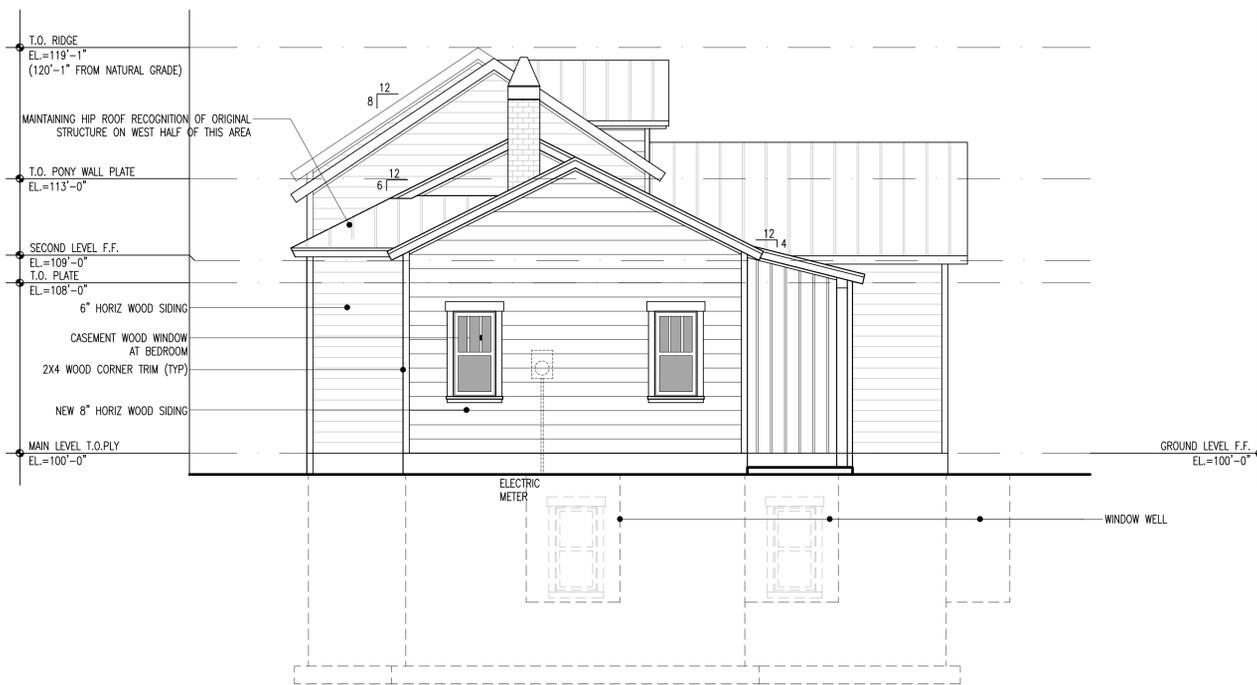
02 PROPOSED EAST ELEVATION
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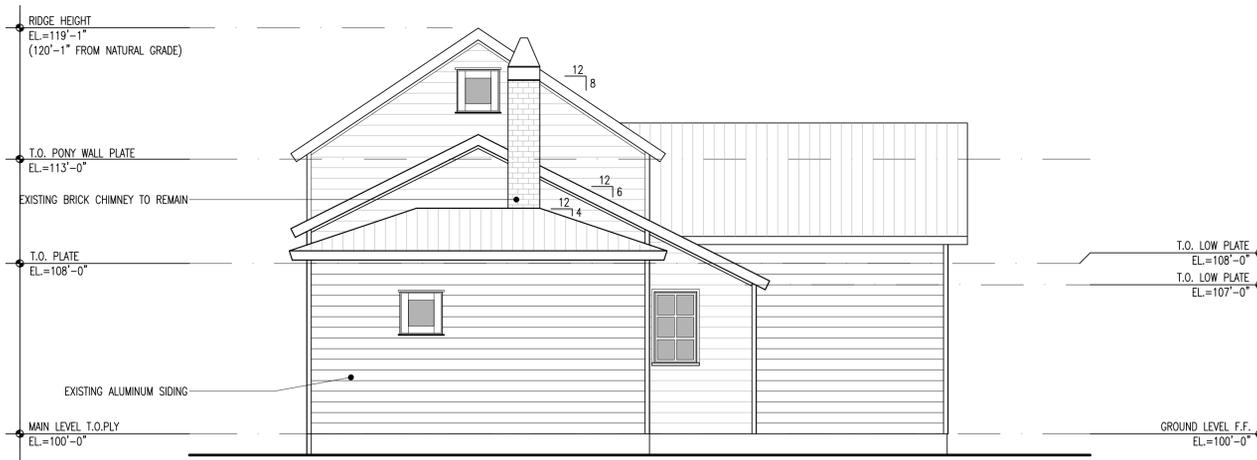
01 EXISTING EAST ELEVATION
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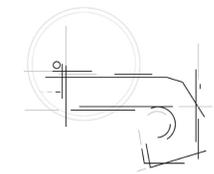
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SCALE: 1/4"=1'-0"



02 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



01 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



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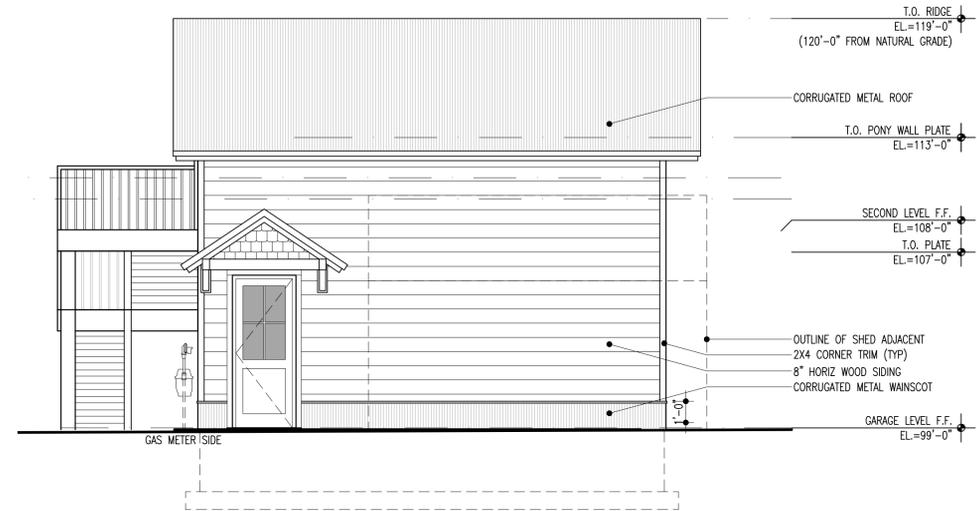
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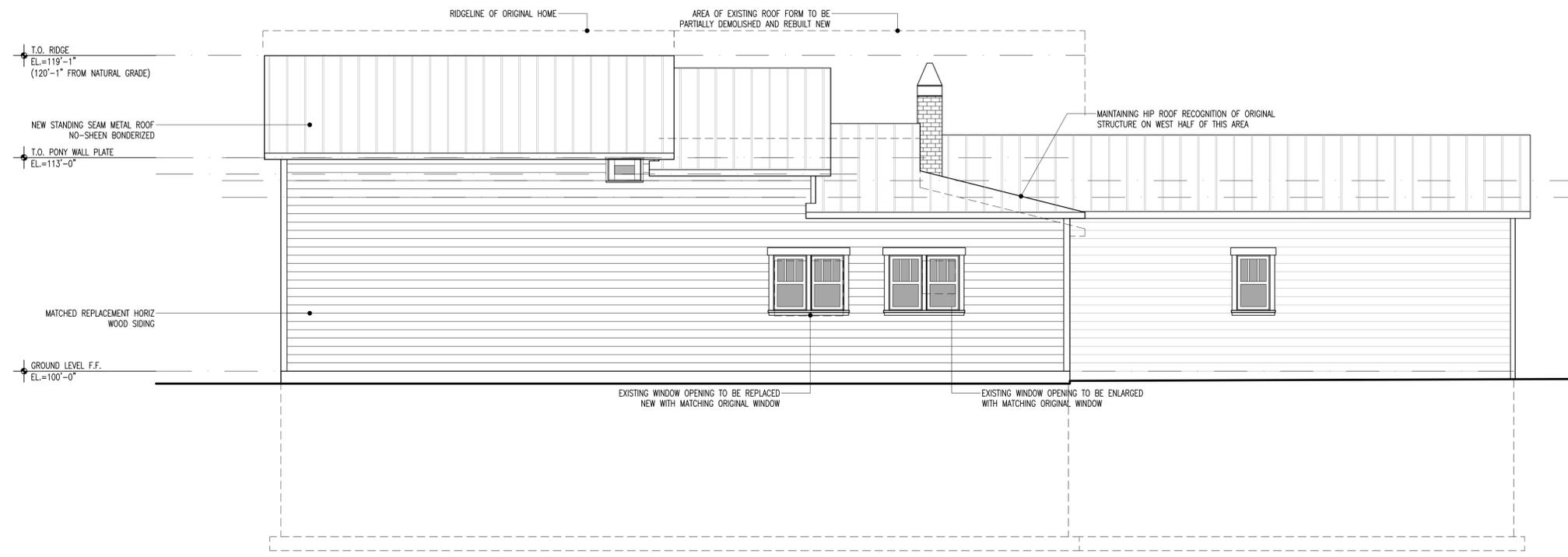
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EXTERIOR ELEVATIONS

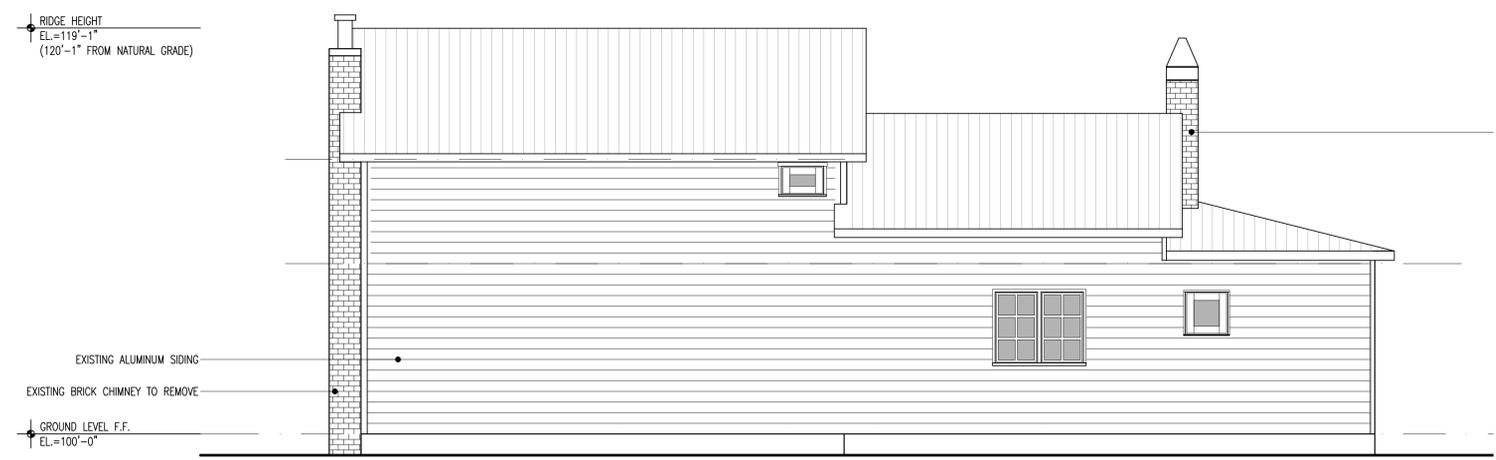
A3.03



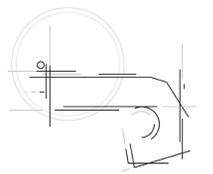
03 PROPOSED WEST GARAGE ELEVATION
SCALE: 1/4"=1'-0"



02 PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"



01 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



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322 MAROON AVE
BLOCK 22; LOTS 3-6
CRESTED BUTTE, CO

Design Review
NOT FOR CONSTRUCTION

JJARCH PROJECT #
25-002

ISSUE DATE
JANUARY 16, 2026

EXTERIOR ELEVATIONS

A3.04