



NOTE: RENDERINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

**PROPERTY ADDRESS**

322 MAROON AVE  
CRESTED BUTTE, CO 81224

**LEGAL DESCRIPTION**

TRACT 3, BLOCK 22

**APPLICABLE CODES**

- THE FOLLOWING ARE THE ARCHITECT'S UNDERSTANDING OF THE CURRENTLY ADOPTED CODES OF THE TOWN OF CRESTED BUTTE, INCLUDING LOCAL AMENDMENTS:
- 2021 INTERNATIONAL RESIDENTIAL CODE
  - 2021 INTERNATIONAL ENERGY CONSERVATION CODE
  - 2021 INTERNATIONAL MECHANICAL CODE
  - 2021 INTERNATIONAL PLUMBING CODE
  - 2021 NATIONAL ELECTRICAL CODE
  - 2021 INTERNATIONAL FIRE CODE

**AREA TABULATIONS**

	EXISTING	PROPOSED	GARAGE/ADU	UNCOUNTED
FIRST FLOOR	987	987+715	416	0000
SECOND FLOOR	217	217+84	395	0000
BASEMENT	0000	0000	0000	1106
SHED	220	220	0000	0000
TOTAL	1424	1985	811	1106
			TOTAL 3016	

**INSULATION SCHEDULE - CLIMATE ZONE 7**

	R10	R15/19	R38	R5+20	R49
SLABS	●				
BASEMENT WALL		●			
CRAWLSPACE WALL		●			
FLOORS			●		
WALLS				●	
CEILING/ROOF					●

**INSULATION NOTES**

1. WOOD FRAME WALLS CAN BE R20 W/ R5 CONTINUOUS OR R13 W/ R10 CONTINUOUS
2. BASEMENT AND CRAWLSPACE WALLS CAN BE R19 ON THE INTERIOR CAVITY OR R15 CONTINUOUS INSULATION ON THE EXTERIOR OR INTERIOR
3. DUCT INSULATION TO BE R8 MINIMUM IF LOCATED OUTSIDE OF CONDITIONED SPACE
4. HOT WATER PIPE INSULATION TO BE R3 MINIMUM ON PIPES 3/4" OR LARGER IF LOCATED OUTSIDE OF CONDITIONED SPACE
5. CONTRACTOR TO PROVIDE WEATHER STRIPPING AND INSULATION TO ACCESS HATCHES & DOORS LEADING TO ATTIC AND CRAWLSPACE
6. REFER A5 FOR FENESTRATION REQUIREMENTS

**REVISION LOG**

REVISION NO.	REVISION DATE	REVISION NAME
-	00.00.0000	REVISION 00

**INDEX OF DRAWINGS**

**ARCHITECTURAL**

<input type="checkbox"/>	<input type="checkbox"/>	A1.00	COVER SHEET / INDEX
<input type="checkbox"/>	<input type="checkbox"/>	A1.01	GENERAL NOTES / OUTLINE SPECIFICATIONS
<input type="checkbox"/>	<input type="checkbox"/>	A1.02	SITE PLAN / ROOF PLAN
<input type="checkbox"/>	<input type="checkbox"/>	A2.01	FIRST FLOOR PLAN
<input type="checkbox"/>	<input type="checkbox"/>	A2.02	SECOND FLOOR PLAN
<input type="checkbox"/>	<input type="checkbox"/>	A2.03	BASEMENT FLOOR PLAN
<input type="checkbox"/>	<input type="checkbox"/>	A3.01	EXTERIOR ELEVATIONS
<input type="checkbox"/>	<input type="checkbox"/>	A3.02	EXTERIOR ELEVATIONS
<input type="checkbox"/>	<input type="checkbox"/>	A4.01	BUILDING SECTIONS
<input type="checkbox"/>	<input type="checkbox"/>	A4.02	BUILDING SECTIONS
<input type="checkbox"/>	<input type="checkbox"/>	A5.01	DOOR TYPES & SCHEDULE
<input type="checkbox"/>	<input type="checkbox"/>	A5.02	WINDOW TYPES & SCHEDULE
<input type="checkbox"/>	<input type="checkbox"/>	A6.01	HEAD, SILL & JAMB DETAILS
<input type="checkbox"/>	<input type="checkbox"/>	A6.02	EXTERIOR DETAILS
<input type="checkbox"/>	<input type="checkbox"/>	A7.00	INTERIOR ELEVATIONS KEY PLANS
<input type="checkbox"/>	<input type="checkbox"/>	A7.01	INTERIOR ELEVATIONS
<input type="checkbox"/>	<input type="checkbox"/>	A7.02	INTERIOR ELEVATIONS
<input type="checkbox"/>	<input type="checkbox"/>	A8.01	REFLECTED CEILING PLANS
<input type="checkbox"/>	<input type="checkbox"/>	A8.02	REFLECTED CEILING PLANS
<input type="checkbox"/>	<input type="checkbox"/>	A9.01	FLOOR FINISH PLANS
<input type="checkbox"/>	<input type="checkbox"/>	A9.02	FLOOR FINISH PLANS

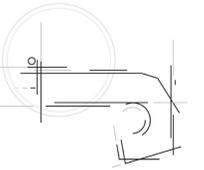
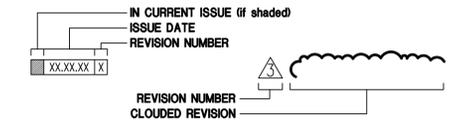
**ELECTRICAL**

<input type="checkbox"/>	<input type="checkbox"/>	E2.00	ELECTRICAL NOTES & SCHEDULE
<input type="checkbox"/>	<input type="checkbox"/>	E2.01	FIRST FLOOR LIGHTING & ELECTRICAL PLAN
<input type="checkbox"/>	<input type="checkbox"/>	E2.02	SECOND FLOOR LIGHTING & ELECTRICAL PLAN

**STRUCTURAL**

<input type="checkbox"/>	<input type="checkbox"/>	S1.01	GENERAL NOTES / FOUNDATION DETAILS
<input type="checkbox"/>	<input type="checkbox"/>	S2.01	FOUNDATION PLAN
<input type="checkbox"/>	<input type="checkbox"/>	S2.02	SECOND FLOOR & ATTIC FRAMING PLANS
<input type="checkbox"/>	<input type="checkbox"/>	S2.03	ROOF FRAMING PLANS / DETAILS
<input type="checkbox"/>	<input type="checkbox"/>	S3.01	FRAMING DETAILS
<input type="checkbox"/>	<input type="checkbox"/>	S3.02	FRAMING DETAILS

**DRAWING ISSUE:**



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**Rob Harper**  
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harpercu@gmail.com

**322 MAROON AVE**  
**BLOCK 22; LOTS 3-6**  
**CRESTED BUTTE, CO**

Design Review  
**NOT FOR CONSTRUCTION**

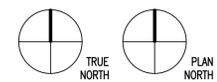
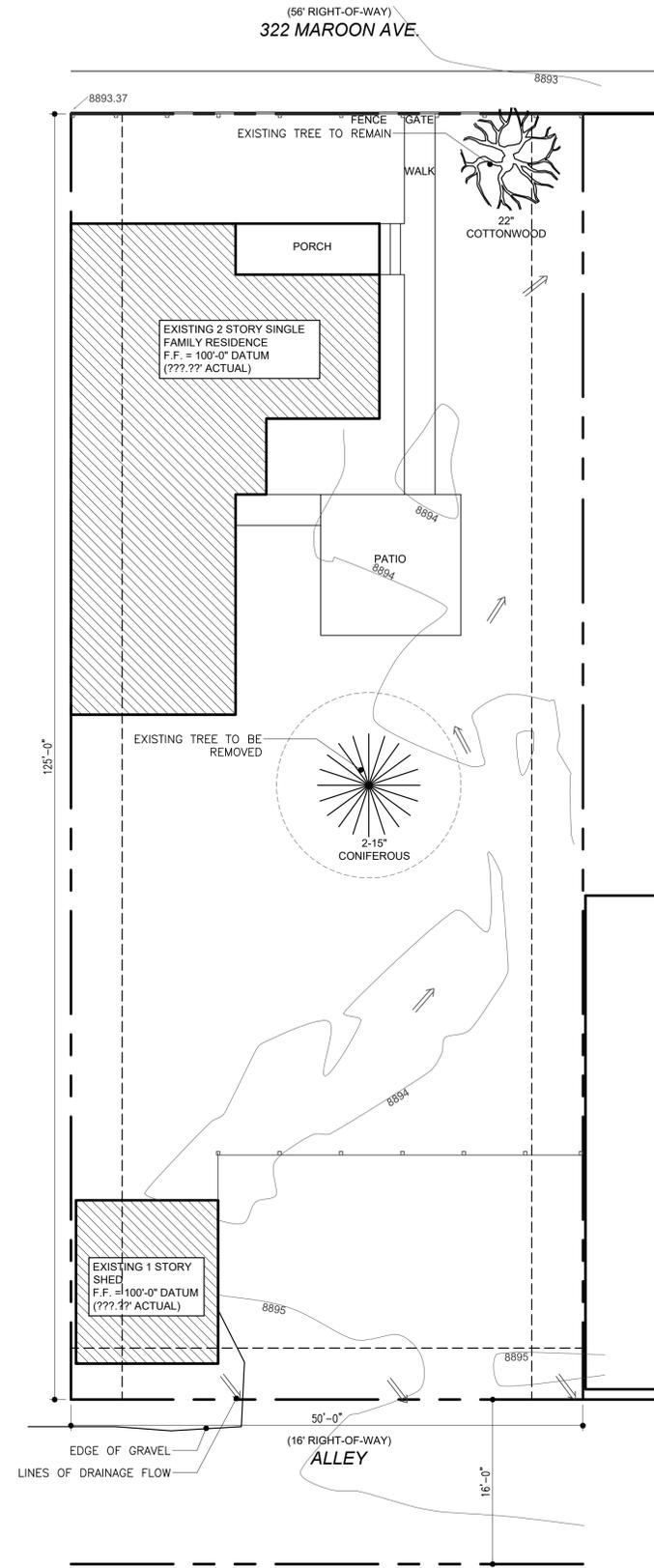
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**25-002**

ISSUE DATE  
**JANUARY 16, 2026**

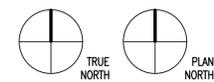
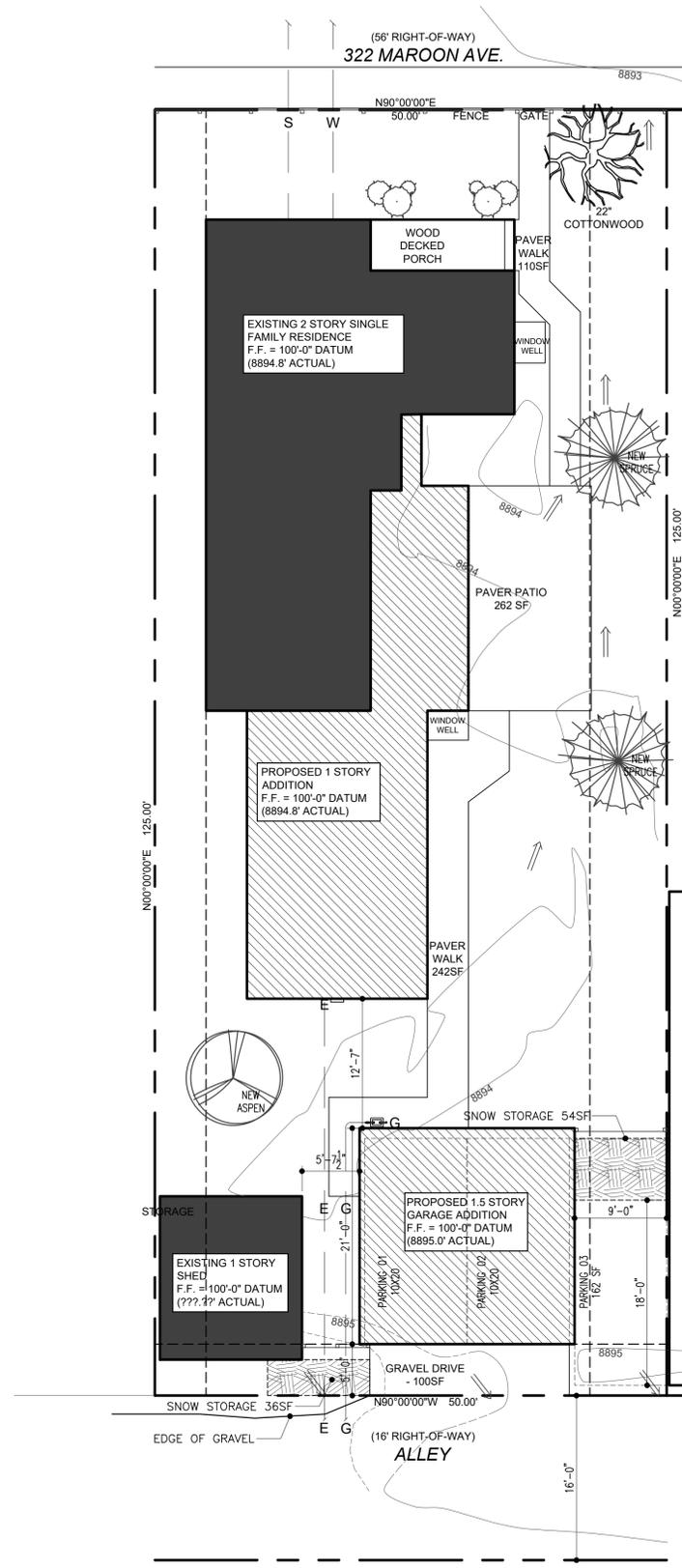
COVER SHEET /  
**INDEX**

**A1.00**

**322 MAROON**  
RENOVATION/ADDITION



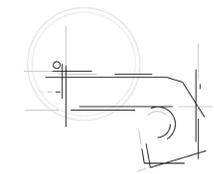
**01 EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"



**01 PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

**SITE PLAN NOTES**

1. REFERENCE LANDSCAPE ARCHITECT FOR SITE DRAINAGE
2. REFERENCE LANDSCAPE ARCHITECT FOR SITE IMPROVEMENTS
3. DRIP EMITTERS TO BE INSTALLED AT ALL BEDDING AREAS
4. WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY



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**SITE PLAN**

**A1.02**



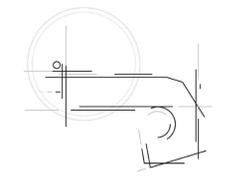
**01 ROOF PLAN**  
SCALE: 1/8"=1'-0"

**ROOF PLAN NOTES**

- GUTTERS TO BE 6" DIAMETER HALF-ROUND PAINT GRIP W/ 4" DOWNSPOUT
- ALL DOWNSPOUTS TO BE ROUTED TO SUBSURFACE FOR DRAINAGE
- ARROWS INDICATE DOWNWARD SLOPE OF ROOF

**ROOF PLAN LEGEND**

-  \*RT-1A\*
-  \*RT-2A\*
-  \*MT-1A\*



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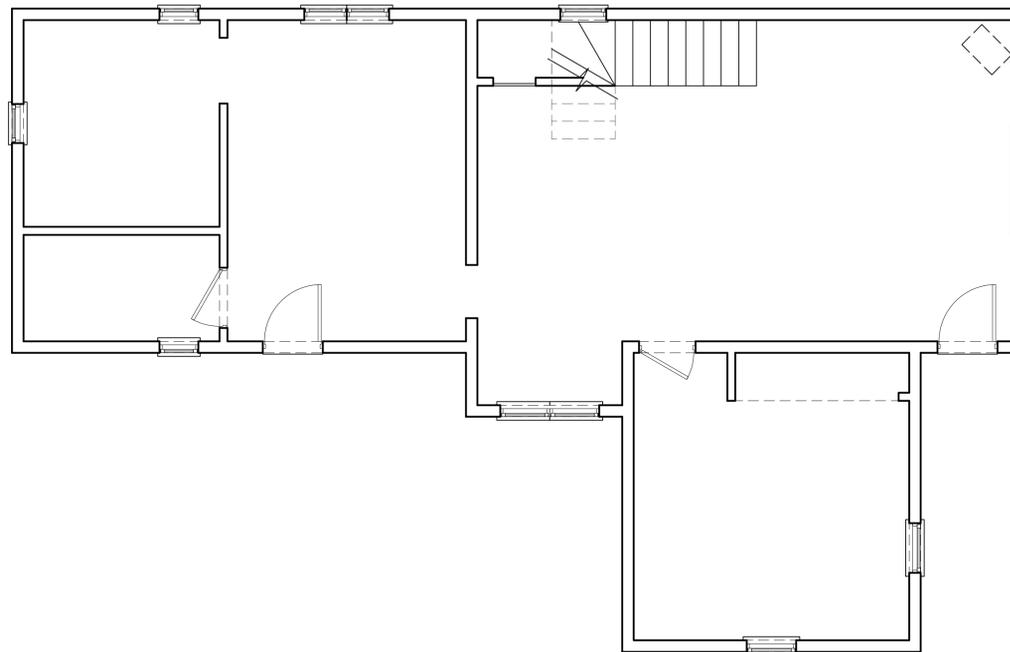
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**SITE PLAN / ROOF PLAN**

**A1.03**



**02 EXISTING MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

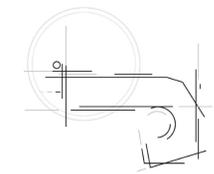
- STONE/BRICK VENEER OVER FRAME CONSTRUCTION
- WOOD SIDING OVER FRAME CONSTRUCTION
- STAGGERED 2x4 STUD WALL WITH SOUND BATTS REFER DETAIL A1.01.04

**KEY**

- ROOM NAME & NUMBER
- DOOR NUMBER
- WINDOW TYPE

**GENERAL NOTES**

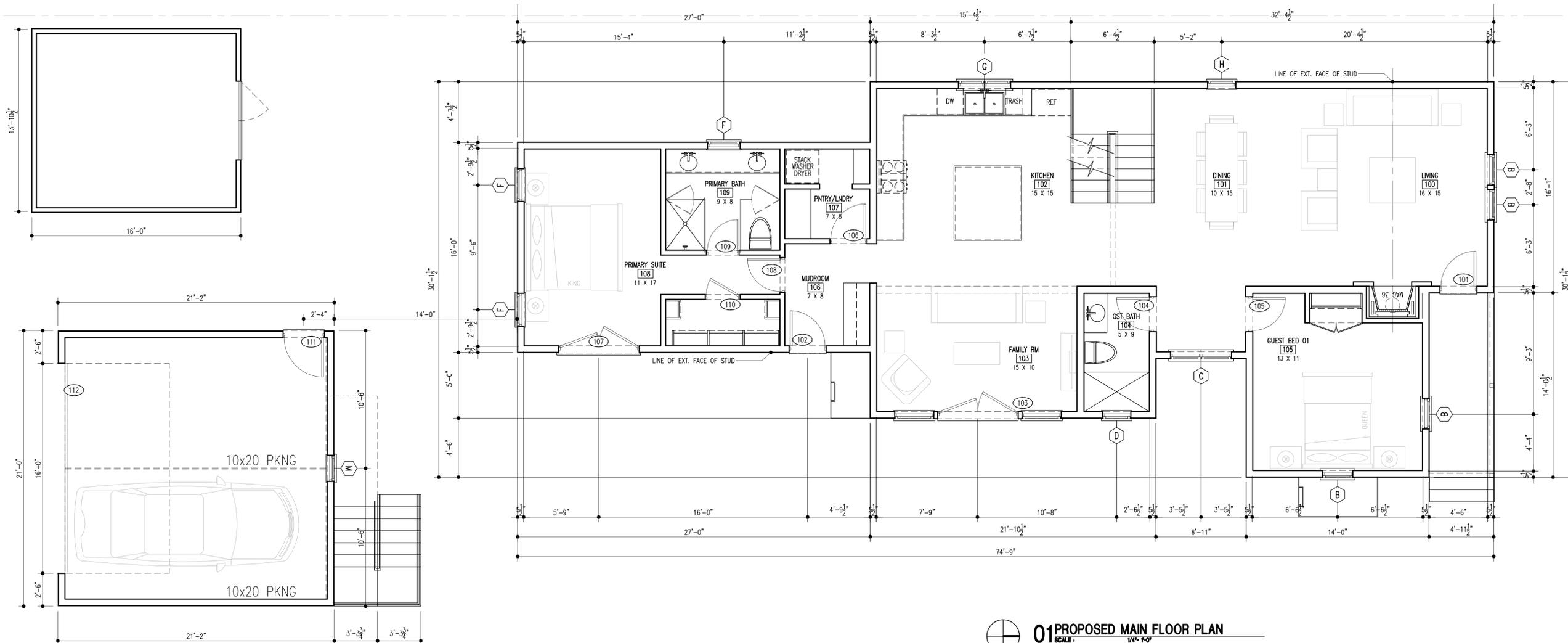
1. ALL DIMENSIONS TO FACE OF STUD U.N.O.
2. DIMENSIONS NOTED W/ AN ASTERISK (\*) ARE TO FINISH MATERIAL
3. ELEVATION DROPS AT SHOWERS NOTED ON A2 ARE TO SUBFLOOR; SHOWER FLOOR SYSTEM AND/OR FINISH TPO SLOPE TO DRAIN
4. REFER A9 SHEETS FOR FINISH MATERIAL ELEVATION CHANGES
5. REFER SHEET A1.01 DIV. 10 FOR SPECIALTIES NOTES
6. REFER SHEET A1.01 DIV. 11 FOR EQUIPMENT NOTES
7. REFER SHEET A1.01 DIV. 13 FOR SPECIAL CONSTRUCTION NOTES
8. REFER SHEET A1.01 DIV. 22 FOR PLUMBING NOTES
9. REFER SHEET A1.01 DIV. 23 FOR HVAC NOTES
10. FOR GARAGE SEPARATION FROM MAIN HOUSE REFER CODE (IBC R309.2)



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**01 PROPOSED MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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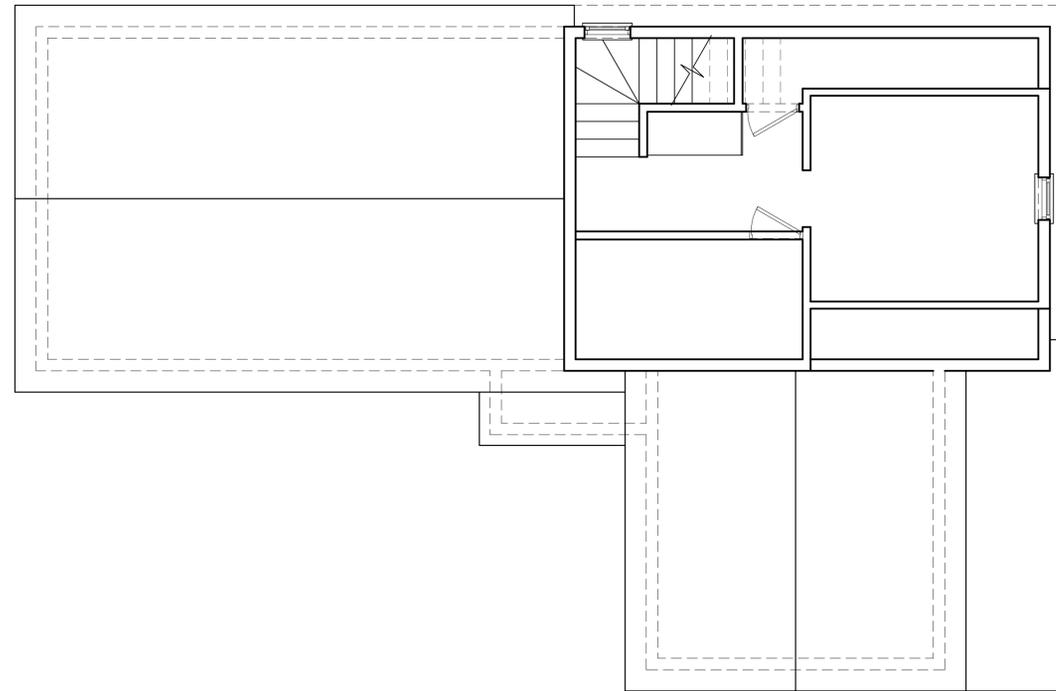
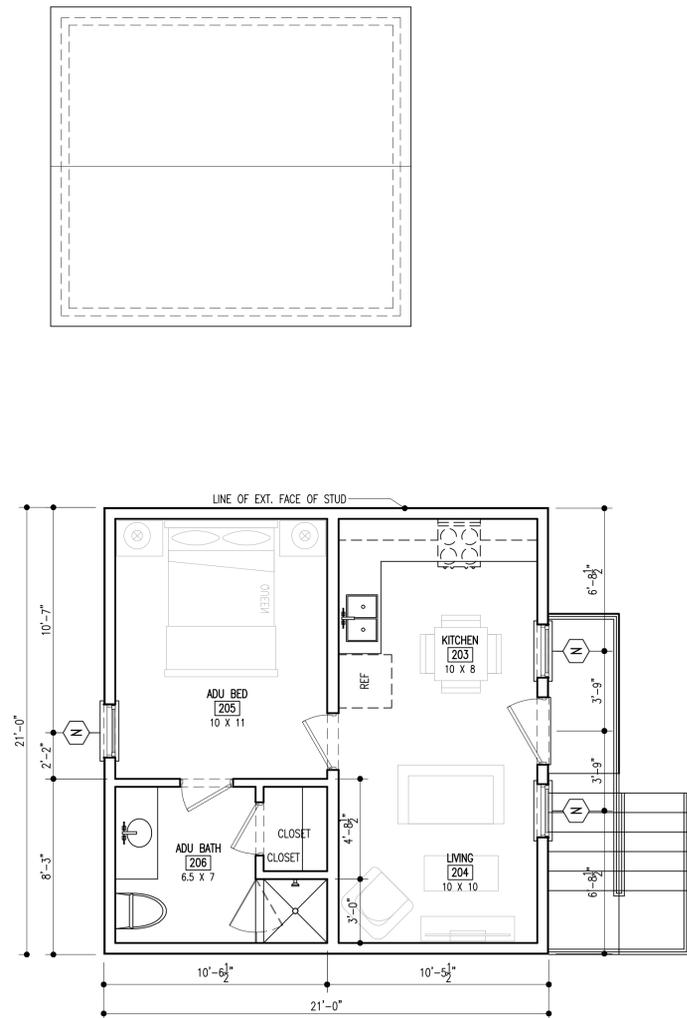
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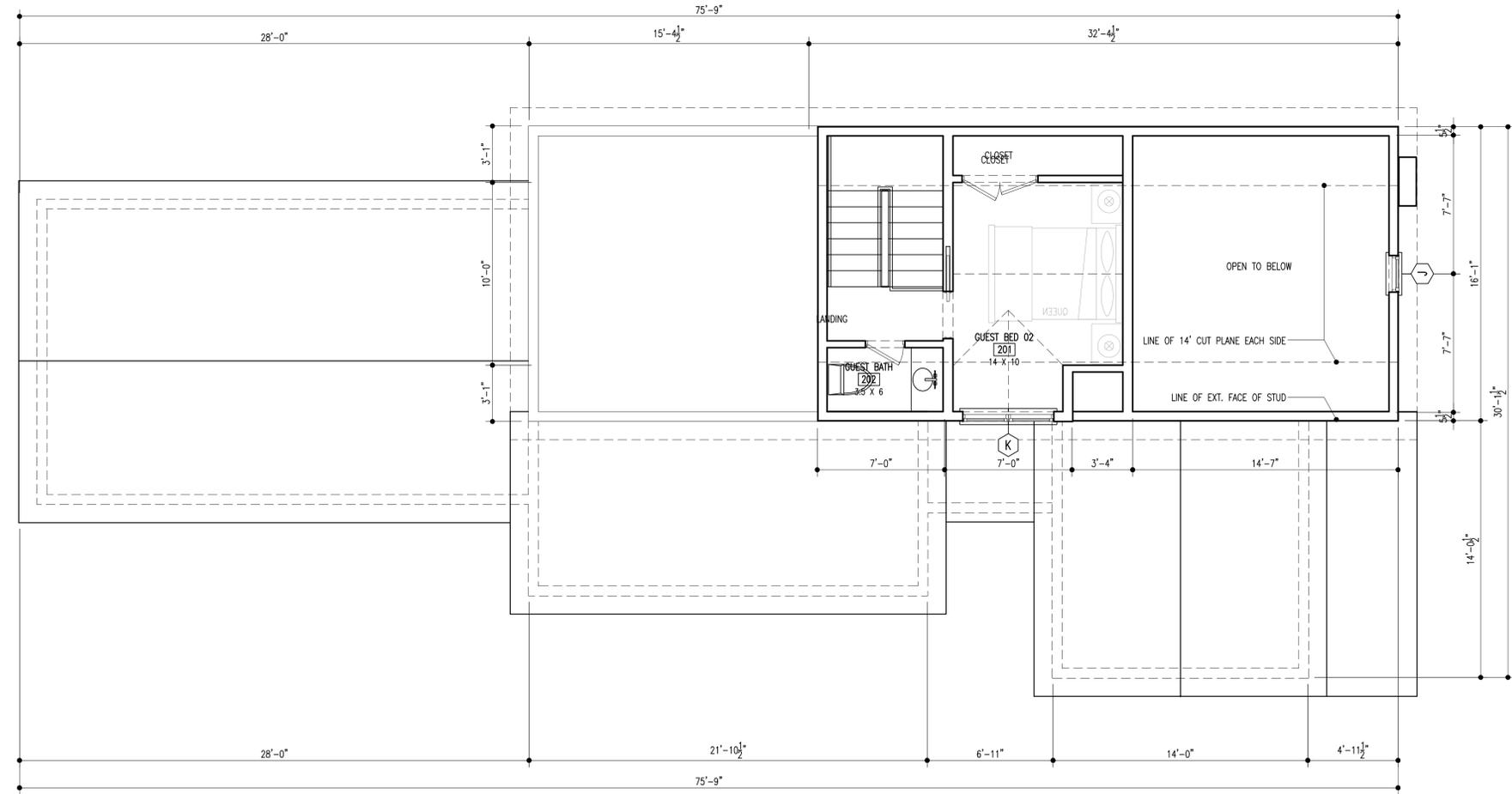
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MAIN FLOOR PLAN

**A2.01**



**02 EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**01 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

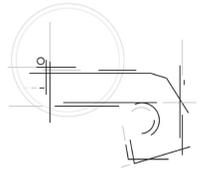
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**KEY**

- ROOM NAME & NUMBER
- DOOR NUMBER
- WINDOW TYPE

**GENERAL NOTES**

1. ALL DIMENSIONS TO FACE OF STUD U.N.O.
2. DIMENSIONS NOTED W/ AN ASTERISK (\*) ARE TO FINISH MATERIAL
3. ELEVATION DROPS AT SHOWERS NOTED ON A2 ARE TO SUBFLOOR; SHOWER FLOOR SYSTEM AND/OR FINISH TPO SLOPE TO DRAIN
4. REFER A9 SHEETS FOR FINISH MATERIAL ELEVATION CHANGES
5. REFER SHEET A1.01 DIV. 10 FOR SPECIALTIES NOTES
6. REFER SHEET A1.01 DIV. 11 FOR EQUIPMENT NOTES
7. REFER SHEET A1.01 DIV. 13 FOR SPECIAL CONSTRUCTION NOTES
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**SECOND FLOOR PLAN**

**A2.02**

**LEGEND**

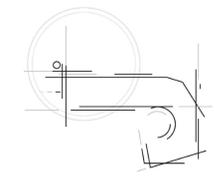
-  STONE/BRICK VENEER OVER FRAME CONSTRUCTION
-  WOOD SIDING OVER FRAME CONSTRUCTION
-  STAGGERED 2x4 STUD WALL WITH SOUND BATTS REFER DETAIL A1.01.04

**KEY**

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-  DOOR NUMBER
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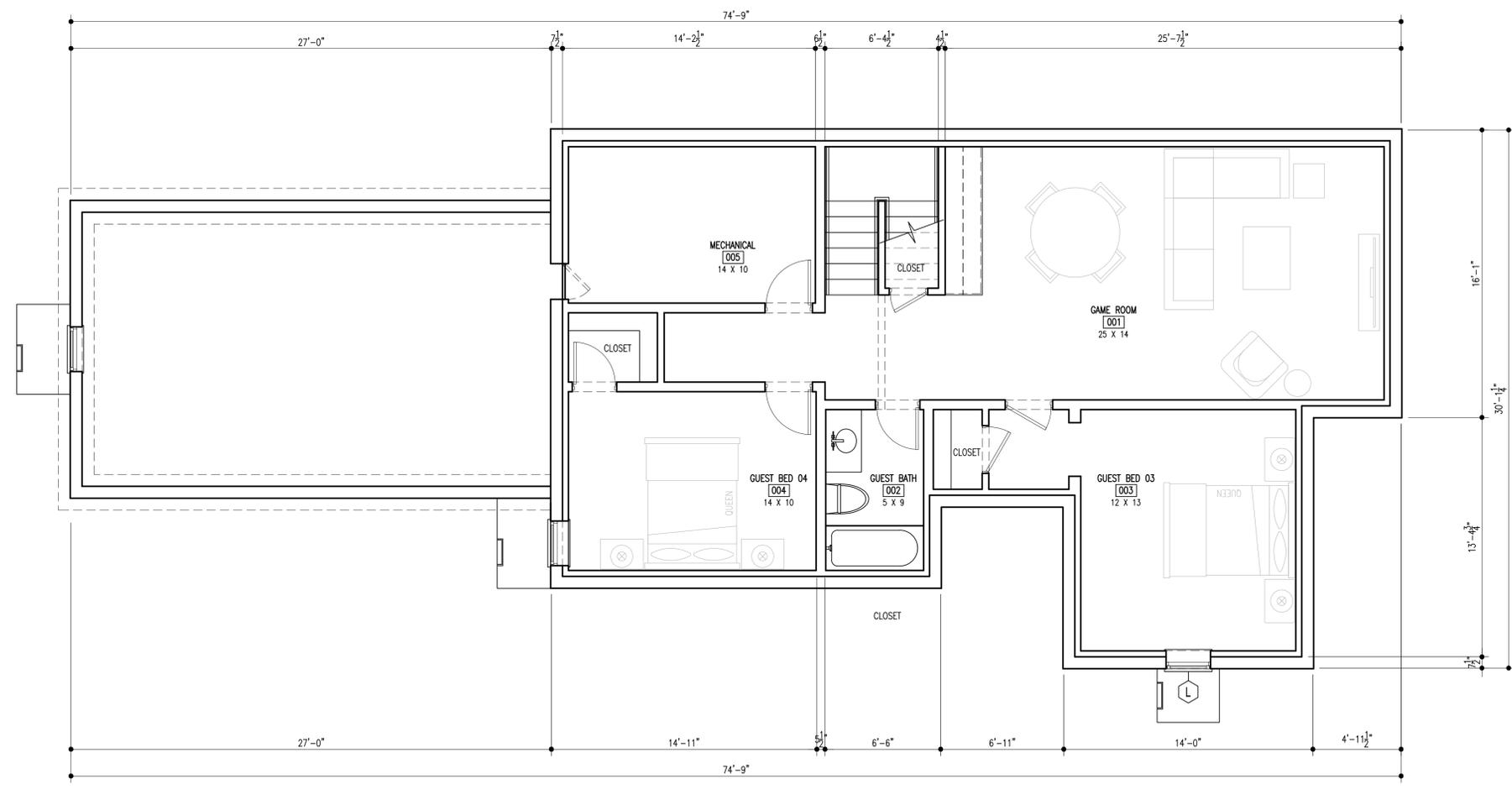
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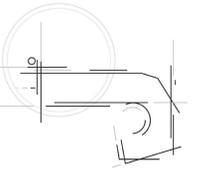
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**BASEMENT FLOOR PLAN**

**A2.03**



**01 PROPOSED BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



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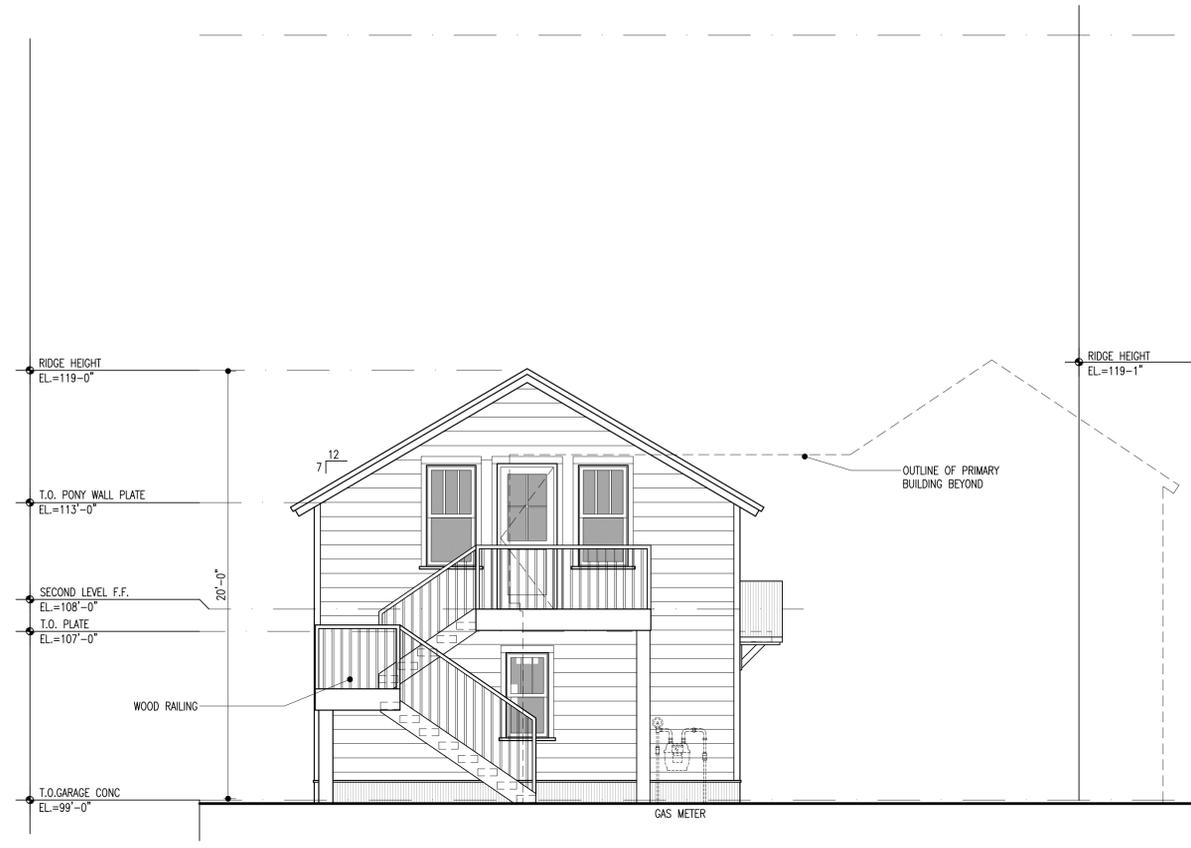
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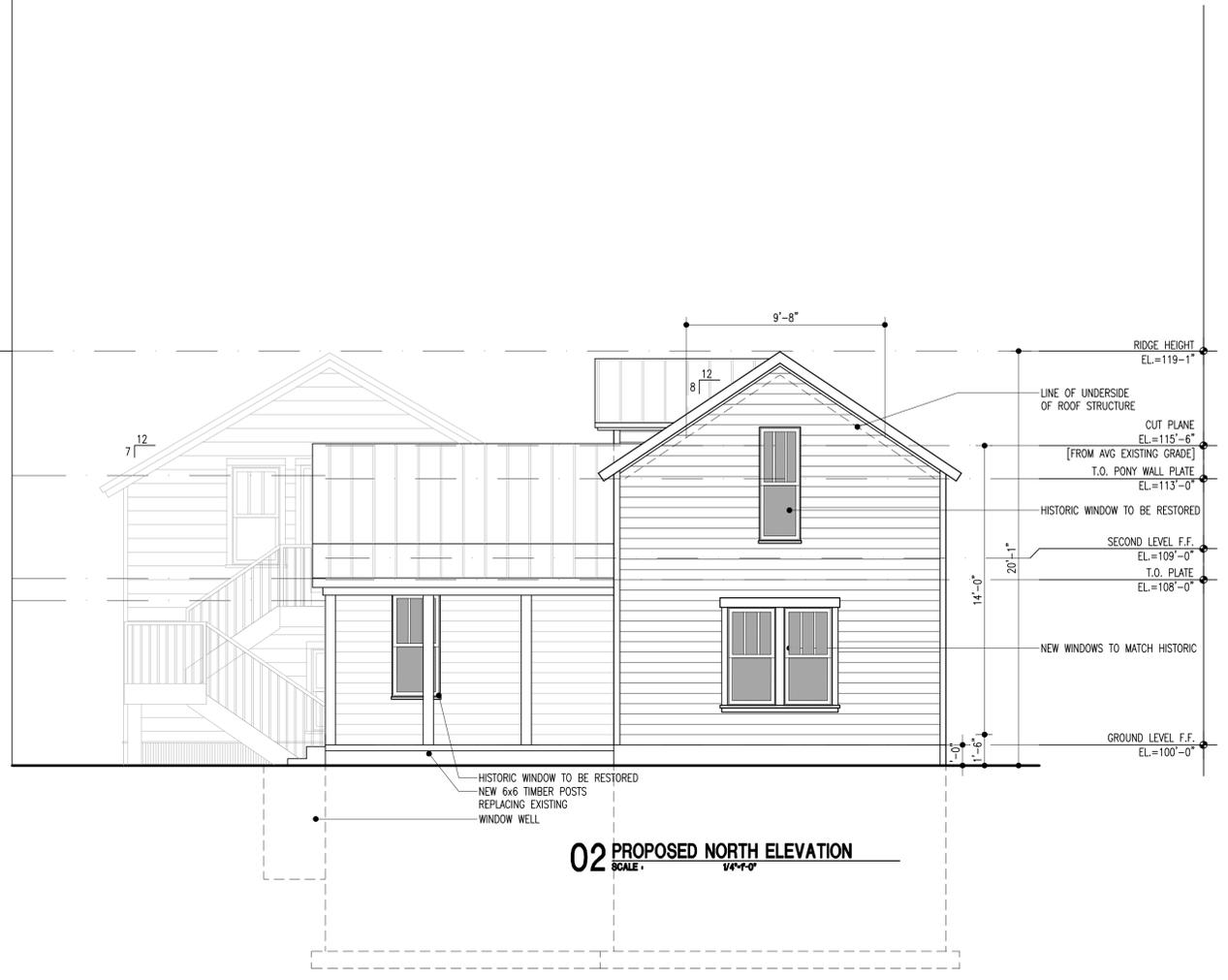
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**EXTERIOR ELEVATIONS**

**A3.01**



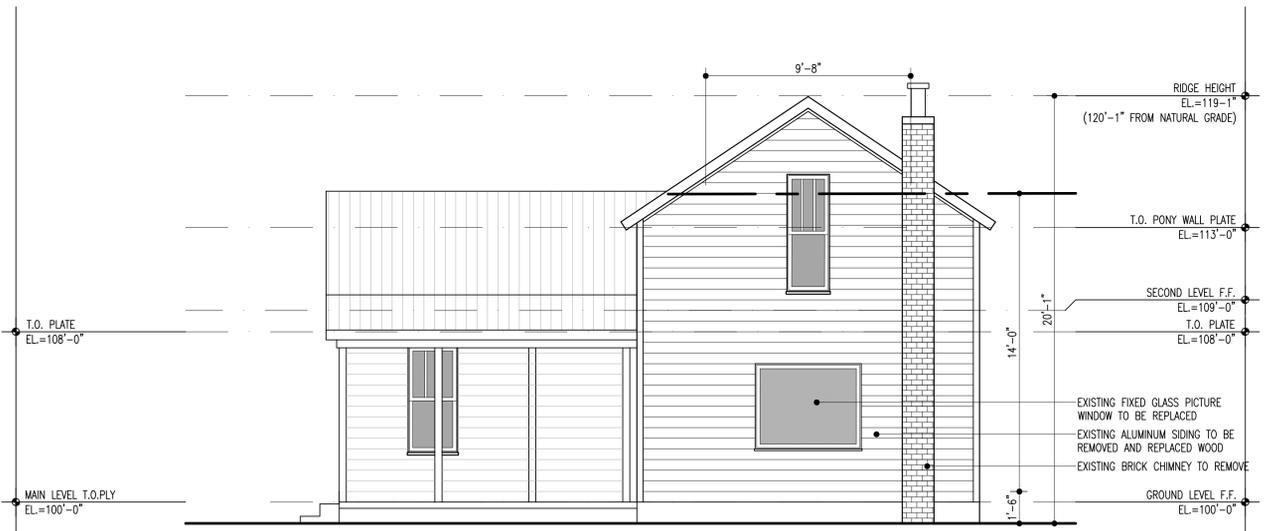
**03 PROPOSED NORTH ADU ELEVATION**  
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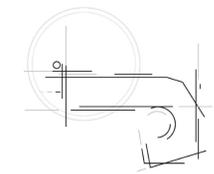
**02 PROPOSED NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



ORIGINAL PHOTO OF 322 MAROON STREET ELEVATION. THE FIRST FLOOR HAD TWO WINDOWS AND AN ENTRY DOOR. (NO CHIMNEY ON FRONT) IN AN EFFORT TO RETURN TO A MORE HISTORIC REPRESENTATION OF HOME, THE CHIMNEY WILL BE REMOVED AND TWO MATCHING HISTORIC WINDOWS WILL REPLACE THE PICTURE WINDOW ON THE FRONT ELEVATION.



**01 EXISTING NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



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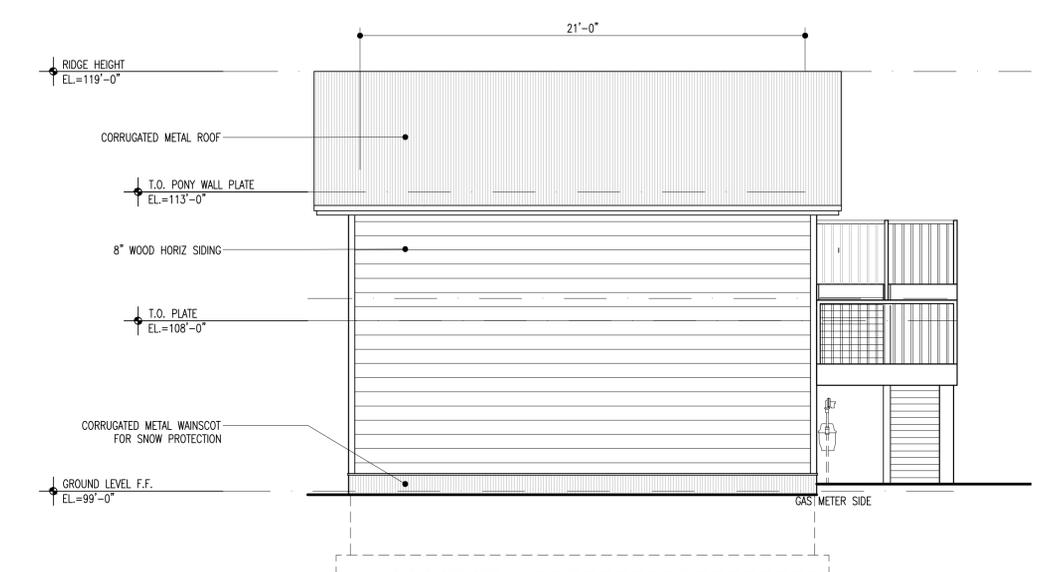
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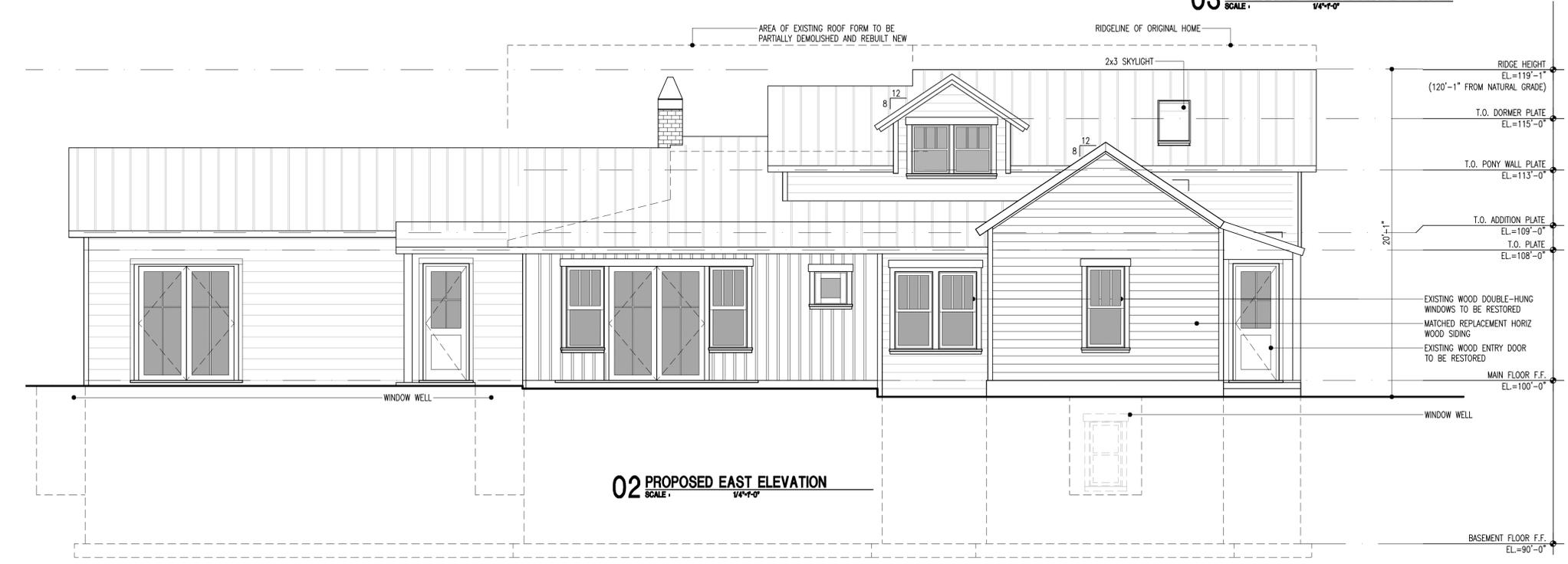
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EXTERIOR ELEVATIONS

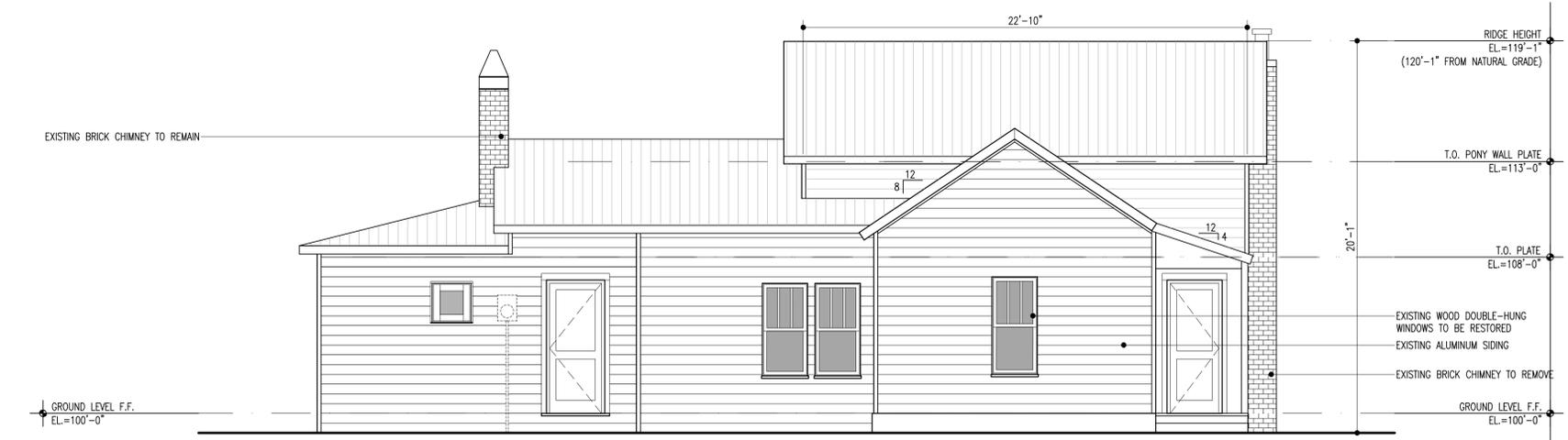
A3.02



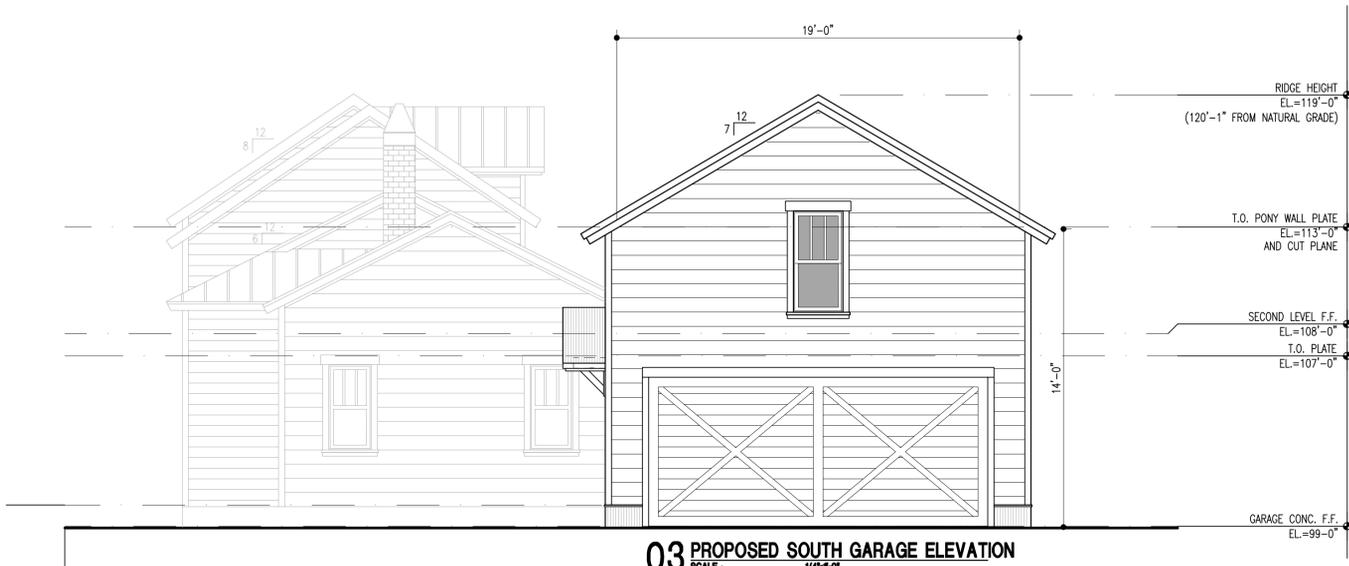
**03 PROPOSED EAST GARAGE ELEVATION**  
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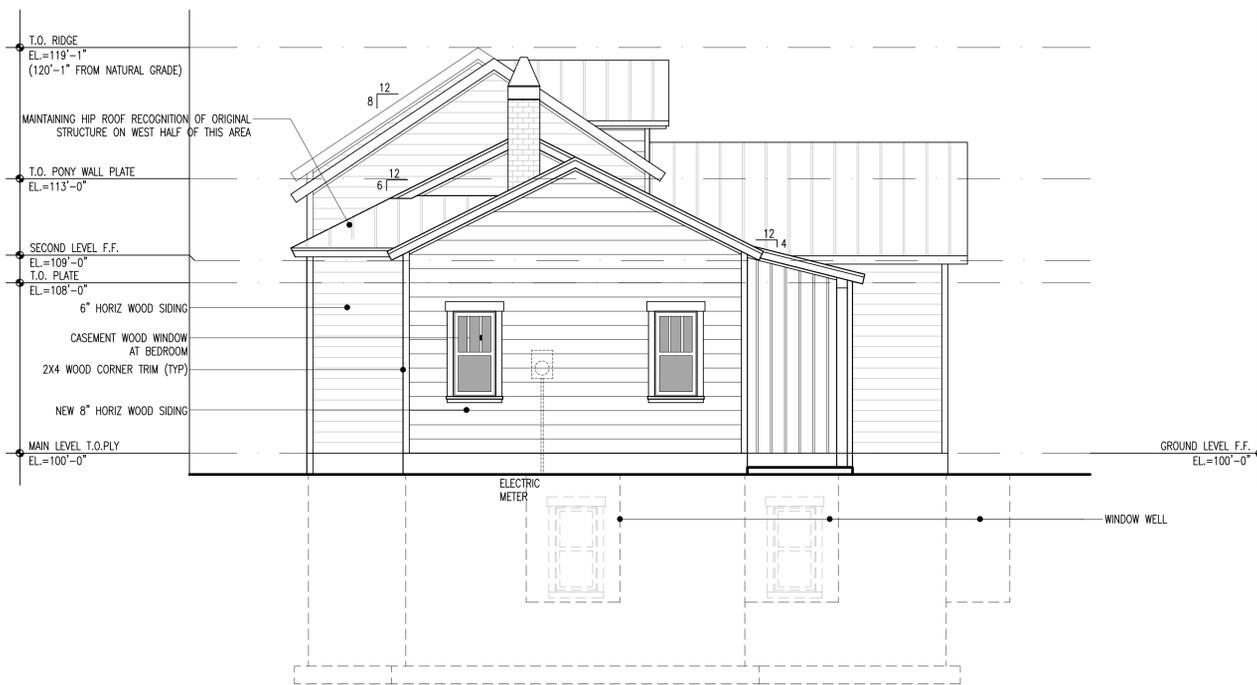
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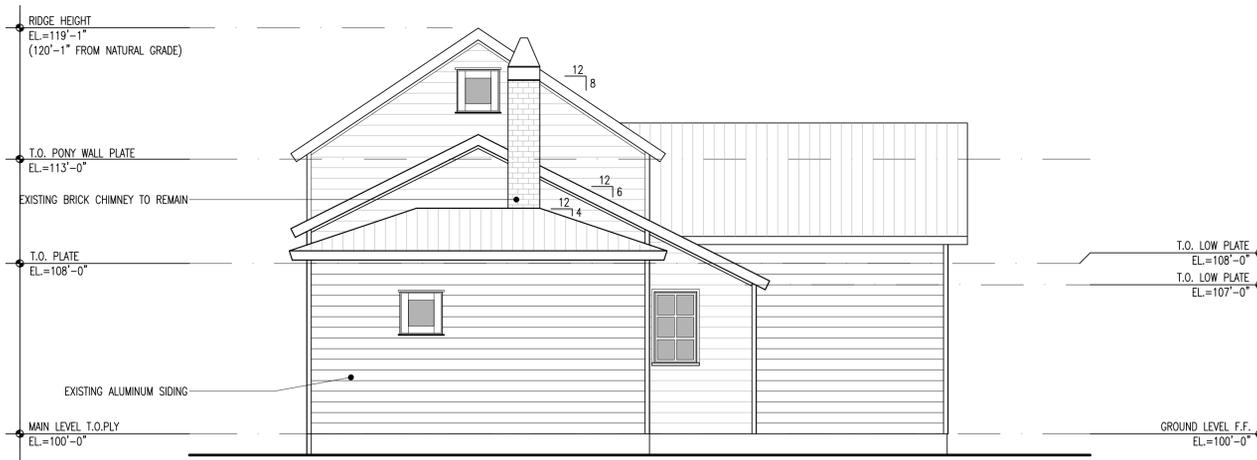
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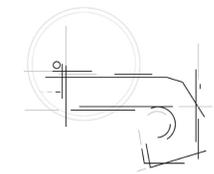
**03 PROPOSED SOUTH GARAGE ELEVATION**  
SCALE: 1/4"=1'-0"



**02 PROPOSED SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**01 EXISTING SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



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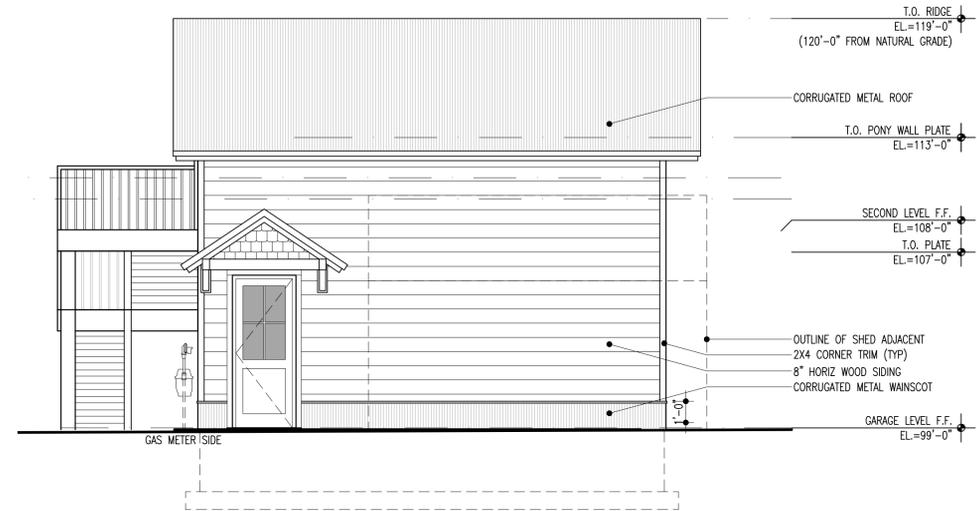
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JJARCH PROJECT #  
**25-002**

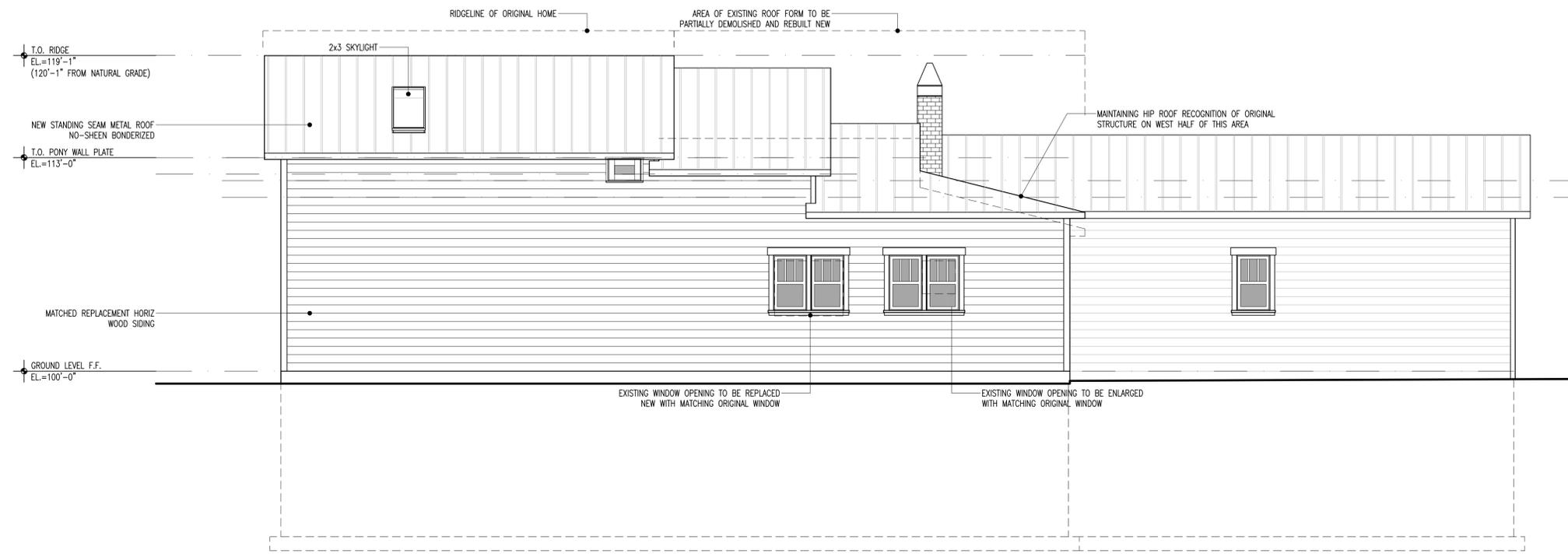
ISSUE DATE  
**JANUARY 16, 2026**

**EXTERIOR ELEVATIONS**

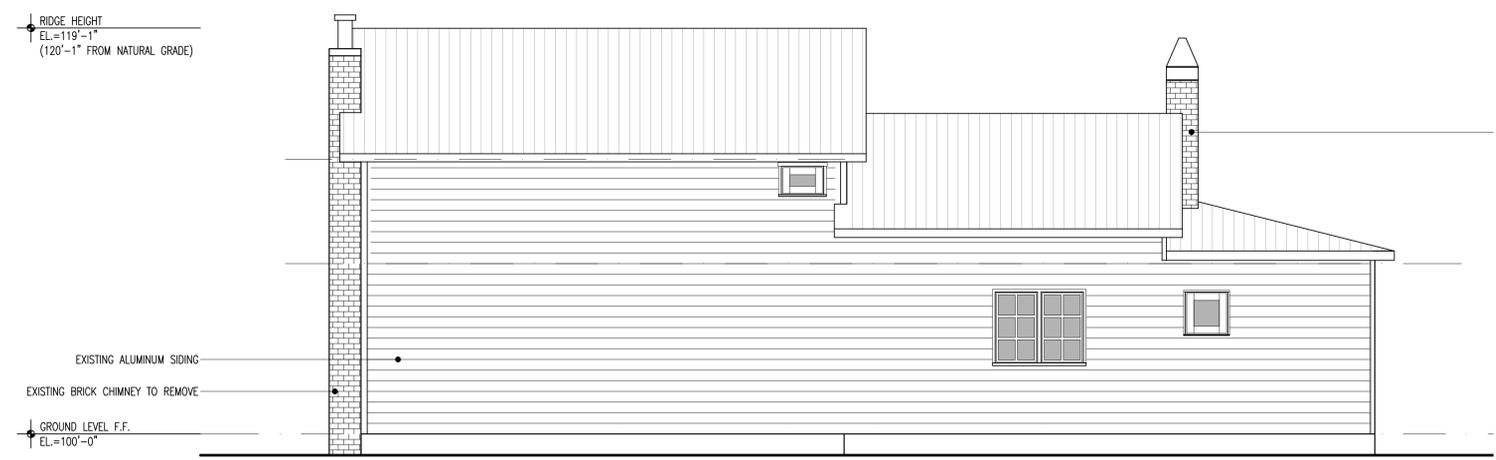
**A3.03**



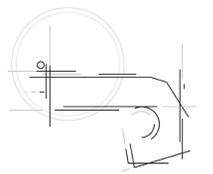
**03 PROPOSED WEST GARAGE ELEVATION**  
SCALE: 1/4"=1'-0"



**02 PROPOSED WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**01 EXISTING WEST ELEVATION**  
SCALE: 1/4"=1'-0"



BUILDER:  
**TBD**  
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XXX.XXX.XXXX | email@email.com

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**322 MAROON AVE**  
BLOCK 22; LOTS 3-6  
CRESTED BUTTE, CO

Design Review  
NOT FOR CONSTRUCTION

JJARCH PROJECT #  
**25-002**

ISSUE DATE  
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**EXTERIOR ELEVATIONS**

**A3.04**