Staff Report

To: BOZAR
From: Jessie Earley, Town Planner III
Meeting Date: DRC, January 13, 2025
RE: 422 and 422 ½ Sopris Avenue, Secondary Review

PROJECT TITLE: Breuer Residence (422 Sopris Avenue)

SUMMARY: Consideration of the application of **John Andrew Breuer and Amy Padgett Breuer** to site a new single-family residence and accessory dwelling to be located at 422 and 422 ½ Sopris Avenue, Block 35, Lots 5-6 in the R1C zone. (Ryan/Hadley)
- A conditional use permit for an accessory dwelling in the R1C zone is requested.
- Architectural approval is required.

LEGAL DESCRIPTION: Block 35, Lots 5-6
ADDRESS: 422 and 422 ½ Sopris Avenue
ZONE DISTRICT: R1C
OWNER: John Andrew Breuer and Amy Padgett Breuer
APPLICANT: Andrew Hadley
DRC MEMBERS: Staab and Schmidt (12/9/2024 DRC); Anderson and Alvarez Marti (1/13/2025)
STAFF MEMBER: Jessie Earley, Planner III

ATTACHMENTS:
1. Plans
2. GIS Map
3. Materials lists
4. Section 16-4-460 – 16-4-520 (R1C zone)
5. Section 16-8-30 (Conditional use)
6. DRC Notes (12/9/2024)

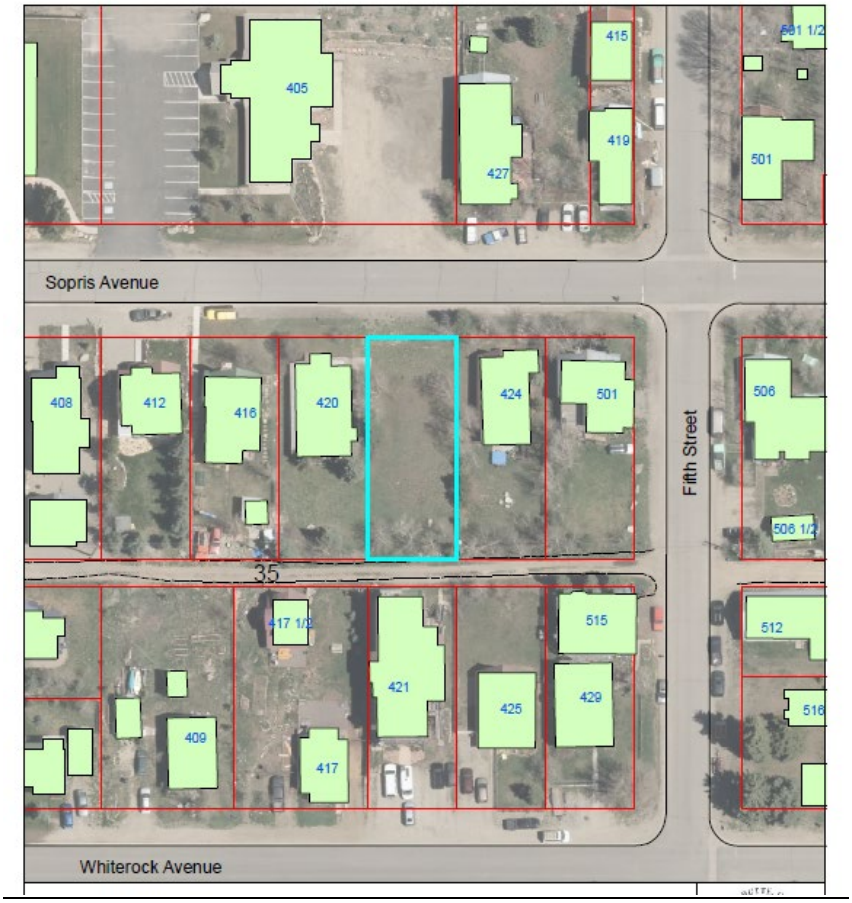
These packet materials are available at this link. Staff can provide paper copies of the packet upon request.

PROJECT DESCRIPTION
1. Site a new single-family residence
2. Site a new accessory dwelling.

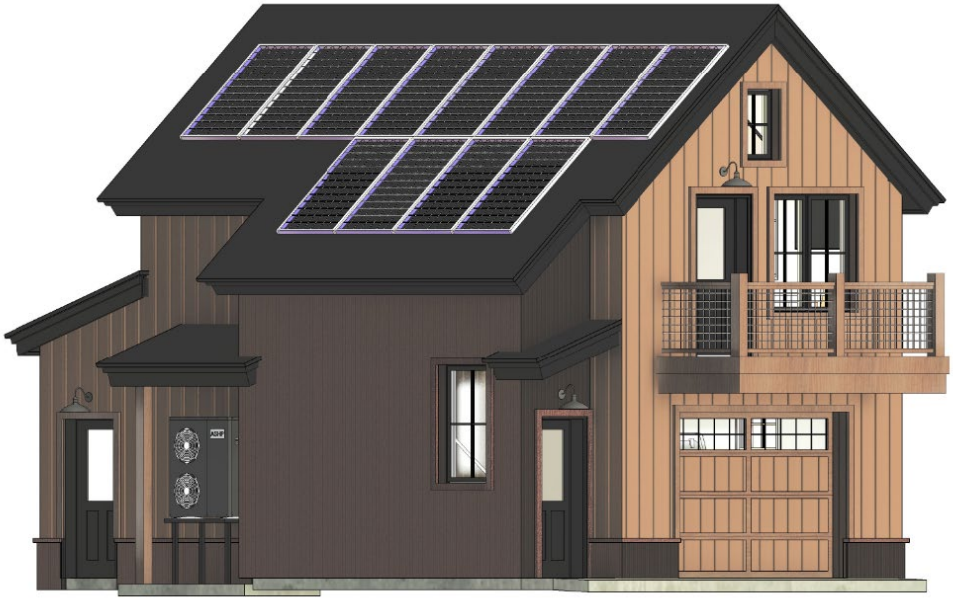
PUBLIC NOTICE
This item was properly noticed per Section 16-22-110 (c). The affidavit of posting is on file in the Preservation Department.

I. **Background/Overview**: Kyle Ryan of Andrew Hadley Architect submitted an application on behalf of the Breuer's for siting a new single family residence and accessory dwelling to be located at 422 and 422 ½ Sopris Avenue. Siding is proposed as 4"x12" reclaimed timber (natural

gray) with stucco (light gray). There is a secondary siding which will be a 1"x10" board and batten wood siding (natural brown). There is a stone foundation cover noted at 18" (natural gray brown mix). Roofing is a mix of standing seam (dark bronze) and corrugated metal (rusty finish).



The siding is proposed as 1”x8” board and batten siding (natural brown) and corrugated metal (rusty finish). Roofing is proposed as standing seam (dark bronze).



2 South West Perspective

II. **Status**: The applicants met with the DRC at the 12/9 meeting. Notes are attached for more detailed information.

The following revisions have been made since that meeting:

- Site:
  - Reduced the number of pavers in three ways.
    - Pulled them from the West property line at the parking area.
    - Added more grass West Side of the property under the snow storage.
    - Pulled the pavers back from the North side of the garage & added plantings.
  - Added a Dry Well to the North of the property.
  - Provided a "tree plan".

- House:
  - Removed the exterior stone fireplace. Reduced the chimney to a 30"x30" stone square coming through the ridge. Increased the door & window width as well as adding a south facing window in its place.
  - Separated mulled windows by at least 6" between.
  - Separated three packs of windows by 12" between.

- Unified the roofing material to Standing Seam – Dark Bronze Finish. Fascia's, Shadow board, & Exposed rafter tails also to match Dark Bronze Finish.

- Accessory / Garage:
  - Removed the corrugated metal siding from the stair module & replaced it w/ siding & metal skirt to match.
  - Unified the separate dormers into a single "Roof Element". Also adding a window to the center of the space.

III. <u>Context:</u> Refer to guidelines 4.25-4.26. The buildings within the block includes all non-historic homes on the north and south sides of the block. The North side of Sopris Avenue includes single family residences and the Queen of All Saints church and parish hall. The property is bordered on the south the alley and then the south half of Block 35, which is R2C, which does house two historic buildings. The forms of the massing plan convey a modified T-shaped footprint with a step down in both the front and the rear.

The Board should determine whether the overall scale and forms of the residence and accessory building comply with the intents 4.25 and 4.26 (excessively similar or dissimilar) in relation to the neighborhood context.

GL	Staff Analysis	DRC Recommendation
4.25 Excessive Similarity	The forms differentiate from newer residences located in Block 35 per context GL 4.25. No conflict.	Support
4.26 Excessive Dissimilarity	Discussion is encouraged to determine if what is proposed is a contemporary interpretation and variety or if the proposal is excessively dissimilar. The proposed scale and forms may not relate to the historic R1C zone surrounding the property. Discussion is encouraged regarding the extension of the gable on the south side of the east gable to determine if this is consistent. Discussion is encouraged regarding the roof element, as proposed for the ADU and if this is categorized as a dormer or roof element.	12/9/ DRC: Streetscape was encouraged to help evaluate this.

IV. <u>Land Use Code Review:</u>
Residential Zone District (Sec. 16-4-460-16-4-520)

Dimensional Limitations	Required by Chapter 16	Proposed	Compliant

Minimum Lot Width:	31 ¼’	50’	Yes
Maximum Lot Area:	9375	6250	Yes
Minimum Lot Area:	3750	6250	Yes
# Dwellings:		2	Yes
Minimum Setbacks:			
Principal: Front: See Section 16-14-60:	20’	15’ Front yard setback: 400 Block of Sopris are situated within the historic core zone. Front yard setbacks range between 7’ to 22’3”". Code Section 16-14-60 contains a provision that enables the Board to consider as to whether less than 20' setback is possible. The average front yard setback is 14’5” for the south side of Sopris. The allowable range for the South side of Sopris on Block 35 is 8’ 5” to 20’5”.	Yes
Principal: Side Yard (West):	7’6”-11’6”	7’6” (one story) 11’10” (two story)	Yes
Principal: Side Yard (East):	7’6”-11’6”	7’6” (one story) 17’1” (two story)	Yes
Accessory Building: Side Yard (West):	7’6”-11’6”	19’4”	Yes
Accessory Building: Side Yard (East):	7’6”-11’6”	7’6”	Yes
Accessory Building: Rear:	5’ (Accessory) 10’ (Principal)	6’ (deck)	Yes
Distance between buildings:	10’	15’9”	Yes
Max FAR - Primary:	0.3-0.32	**0.32 (2000.9 sf)**	**Yes**
Max FAR – All Buildings:	0.48	**1010.52 sf (accessory)** **0.482 (3011.4 sf)**	**No (ADU 10 sf too large)**
Height:	28’ /20’/ 24’	**28’ (principal)** **24’2” (accessory dwelling)**	**Principal – Yes** **Accessory – No**
Roof Pitch	Minimum 4:12	10:12 (principal); 14:12 and 4:12 (secondary roofs) 10:12 (primary); 4:12 (secondary roofs) (accessory)	Yes
Width	35’	32’ (principal) 20’ (accessory dwelling)	Yes
Snow Storage	>33%	47.6%	Yes
Open Space	50%	70%	Yes
Parking	3 spaces	2 stacked (primary building) 1 interior (ADU)	Yes

b. Conditional use permit for an accessory dwelling (section 16-8-30): The accessory building use is a further defined as within Section 16-1-20:
Accessory dwelling means a detached subordinate structure or portion thereof subordinate to an existing or planned and approved residential structure on the same building site. In each of the residential districts located within the Town, the accessory dwelling must remain in common ownership at all times with the primary dwelling or principal building on the same building site. In the event the creation of condominiums or townhouses on the building site results in more than one (1) primary dwelling or principal building, the accessory dwelling must remain in common ownership with at least one (1) primary dwelling or principal building located on the same building site. Either the accessory dwelling, the primary dwelling, or both, shall be used exclusively as a long-term rental. If more than one (1) accessory dwelling has been approved for a site, then two (2) out of the three (3) dwelling units on the site shall be used exclusively as a long-term rental. The structure designated as the long-term rental must remain in common ownership with another residential use on the same building site, except in the "B3" Business District, where the primary structure may be nonresidential in character. To obtain the conditional use of an accessory dwelling, the applicant shall comply with the terms of Section 16-9-70 respecting the recordation of discretionary approvals.

Please review the criteria to consider this use within Section 16-8-30. This use is a conditional use in the R1C zone per code section 16-4-480 (1).

Code Section	Staff Analysis	DRC Recommendation
Sec. 16-4-480 (1) Accessory dwellings	The R1C zone provides this use as a conditional use. It must meet the criteria below.	Not applicable. Use changes do not go before DRC.
Sec. 16-8-30 (a) Architectural approval	Discussion regarding this is outlined below.	
Sec. 16-8-30 (b) (1) Compatible with neighborhood context and size	Discussion below, general support.	
Sec. 16-8-30 (b) (1) a. Size	The building must be revised to meet FAR requirements.	
Sec. 16-8-30 (b) (1) b. Density of buildings	General support.	
Sec. 16-8-30 (b) (1) c. Amount of open space	Meets requirements of the zone district. General support.	
Sec. 16-8-30 (b) (1) d. Scale	See discussion below. General support.	
Sec. 16-8-30 (b) (1) e. Snow storage	Provided. General support.	
Sec. 16-8-30 (b) (1) f. Snow removal	Provided. General support.	
Sec. 16-8-30 (b) (1) g. Landscaping	Discussed further below. Confirmation required of existing trees. General support	
Sec. 16-8-30 (b) (1) h. Similar land uses	The R1C zone presents a variety of uses to which this could be included. General support.	
Sec. 16-8-30 (b) (2) Consistent with zoning district objectives and purposes	General support	
Sec. 16-8-30 (b) (3) Congestion, automotive, or pedestrian safety problems or other traffic hazards	Parking is overviewed on the site plan. General support.	

Sec. 16-8-30 (b) (4) Noise, dust, vapor, fumes, odor, smoke, vibration, glare, light, trash removal or waste disposal problems	General support.	
Sec. 16-8-30 (b) (5) Adverse effects to public facilities, rights of way or utilities	General support.	
Sec. 16-8-30 (b) (6) Adverse impacts on the uses of adjacent property	Pending any public comment. General support.	
Sec. 16-8-30 (b) (7) Adequate parking or PIL	General support.	
Sec. 16-8-30 (c) Net effect on any proposed use on the number of long-term housing units	This ADU will add a deed restricted long term rental.	

V. Design GL Analysis

Purpose for the R1C District:

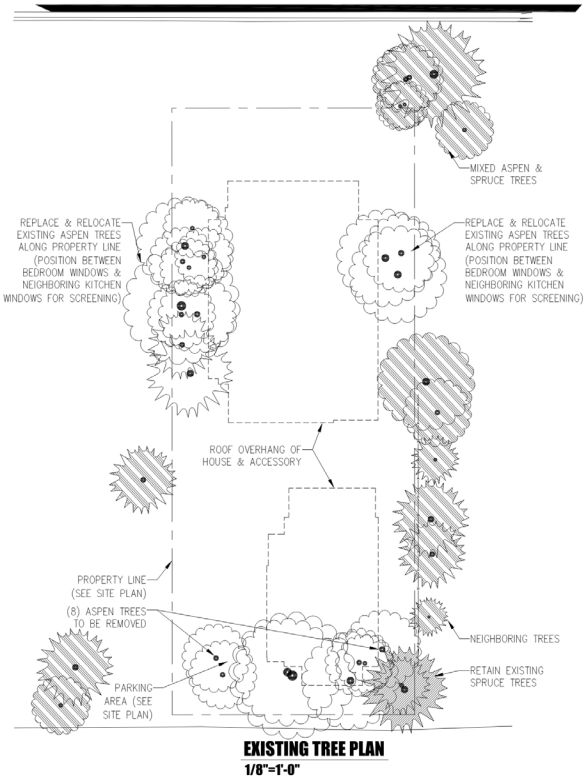
The R1C District was created to provide for low-density residential development along with customary accessory uses in the older residential areas of the town, where particular attention to the characteristics, size and scale of existing historic buildings is required. Residential and institutional uses customarily found in proximity to such residential uses are included as conditional uses. No more than two units, designed or used for dwelling by a family, are allowed on a site. Please refer to Chapter 16, Article 4, Division 6 of the Town Code for additional information about this zone district.

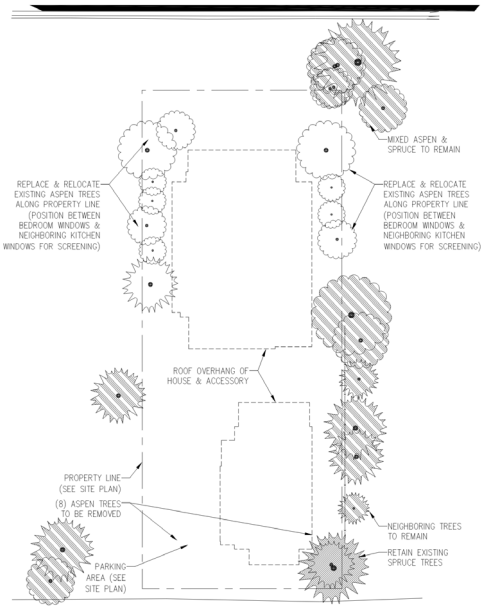
Design goals for the R1C district include:

- To encourage appropriate infill and changes to existing structures and preserve the historic residential character of the area.
- To place importance on the appropriate development of the entire property not just individual structures.

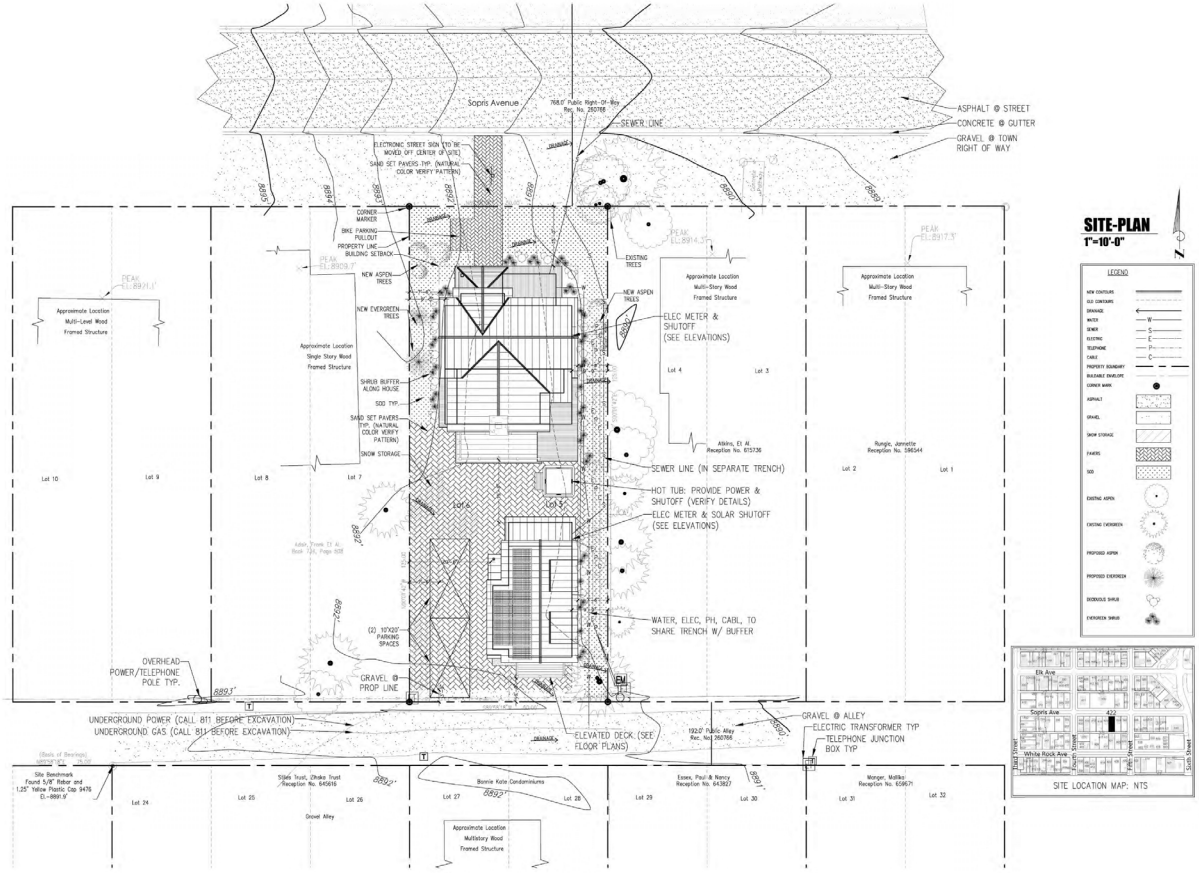
a. **Site planning:** Refer to GL: 2.16-2.40, 3.1-3.2, 5.108-5.112.

GL	Staff Analysis	DRC Recommendation
Topography	Provided on sheet C1. Slopes down from 8892' to 8891' to the East. For the primary building for the purposes of FAR the natural grade is 8891'6". For the accessory dwelling, the grade for the purposes of FAR would be 8891'6".	
2.8 Drainage	**Drainage swales are shown for the primary and accessory building to the east. However, drainage will need to be revised to encourage drainage to the alley or the street not the adjacent lot.** **A dry well is now shown on the north side of the lot. This will need to meet the specifications required by the Public Works Department.**	12/9 DRC: Drainage cannot be to the neighboring property. Revisions needed
Easements	NA	NA
2.16 Substantial landscaping	The plan is fairly general. Provision of a final landscape plan can be required, if changes occur.	
2.18/3.1 Preservation of existing mature trees	**This site is heavily treed. There are smaller existing trees in the middle of the lot that will need to be removed for the placement of the home and accessory. Confirmation of the number and size is required to ensure these are less than the caliper noted within the code 16-15-10.** **Also, there are trees along the edges of the lot to the west (10) and west (3) and that are noted to be removed and**	12/9 DRC: Members asked for a more detailed plan for what trees would be removed. This has been provided.

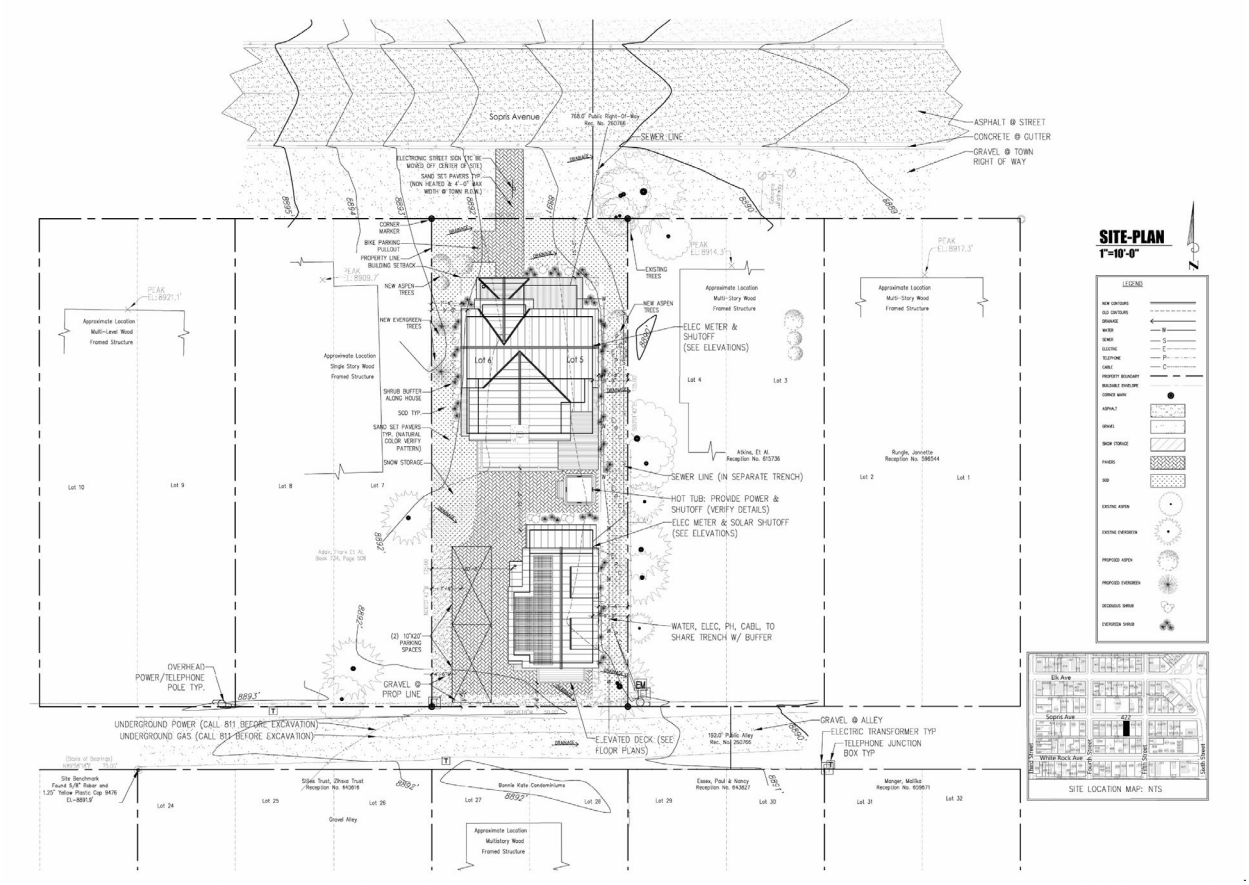
	replaced. **There are seven trees on the south that are proposed to be removed to ensure access to the new accessory dwelling.** **It appears that all trees that exist on the lot with the exception of the one spruce tree on the southeast corner will be removed. This is excessive and counter to other proposals the Board has reviewed. There have been other instances where soil nails were used to retain trees. Staff encourages potential retention of large trees on the east and west, thinning out smaller trees and as many trees to remain as possible.**  	

		
2.19 New trees	There are a cluster of new aspen trees (3) on the northwest corner of the lot and new evergreen trees (2) along the west. There are three new aspen trees noted on the eastern edge of the lot. Shrub buffers are noted on the west and east of the primary and the east of the ADU.	12/9 DRC: Members asked for a more detailed plan for what trees would be removed. This has been provided.
2.16 a./ 2.20 Native plantings	Sod is noted on the north portion of the property and on the east side of the structures. Generally, the GL supports use of native grasses. Discussion is encouraged.	
2.16 e Pervious materials	**There is a small area of gravel on the south side of the lot adjacent to the alley.** **The south portion of the lot and between buildings is called out as sand set pavers and was reduced from (2125.07 sf) to (1286.35 sf). It is appreciated that the material is pervious.** **There is a walkway and bike parking pull out on the north side of the lot, which extends into the right of way that is also noted as sand set pavers (274.76 sf). The width of the sidewalk on the north cannot exceed 4' into the ROW and cannot be heated.**	
2.28 e & f Parking substrate	Parking spaces are noted as sand set pavers, which meet the intents of the GL. General support.	Support
(2.37-2.40)/ 16-17-40 Exterior Lighting	Proposed lighting appears to comply with night sky requirements. General support.	Support
Solar	There is solar proposed for the west roof face of the ADU, which meets the intents of the GL.	Support
Utilities	**Wet and dry utilities have been included on the site plan. Water and sewer lines should not be located on the same side of the home (east), as noted. They should be separated**	

	and sewer should move to the west side of the home. **If a lift station is required, it would need to be included on the interior of the structure.** Adjacent rights of way are included to scale.	
2.7 Snow Storage	Snow storage is provided onsite and is over the minimum of 33%. The areas correspond with areas to be plowed.	Support



Proposed Site Plan (12/9/2024 DRC)



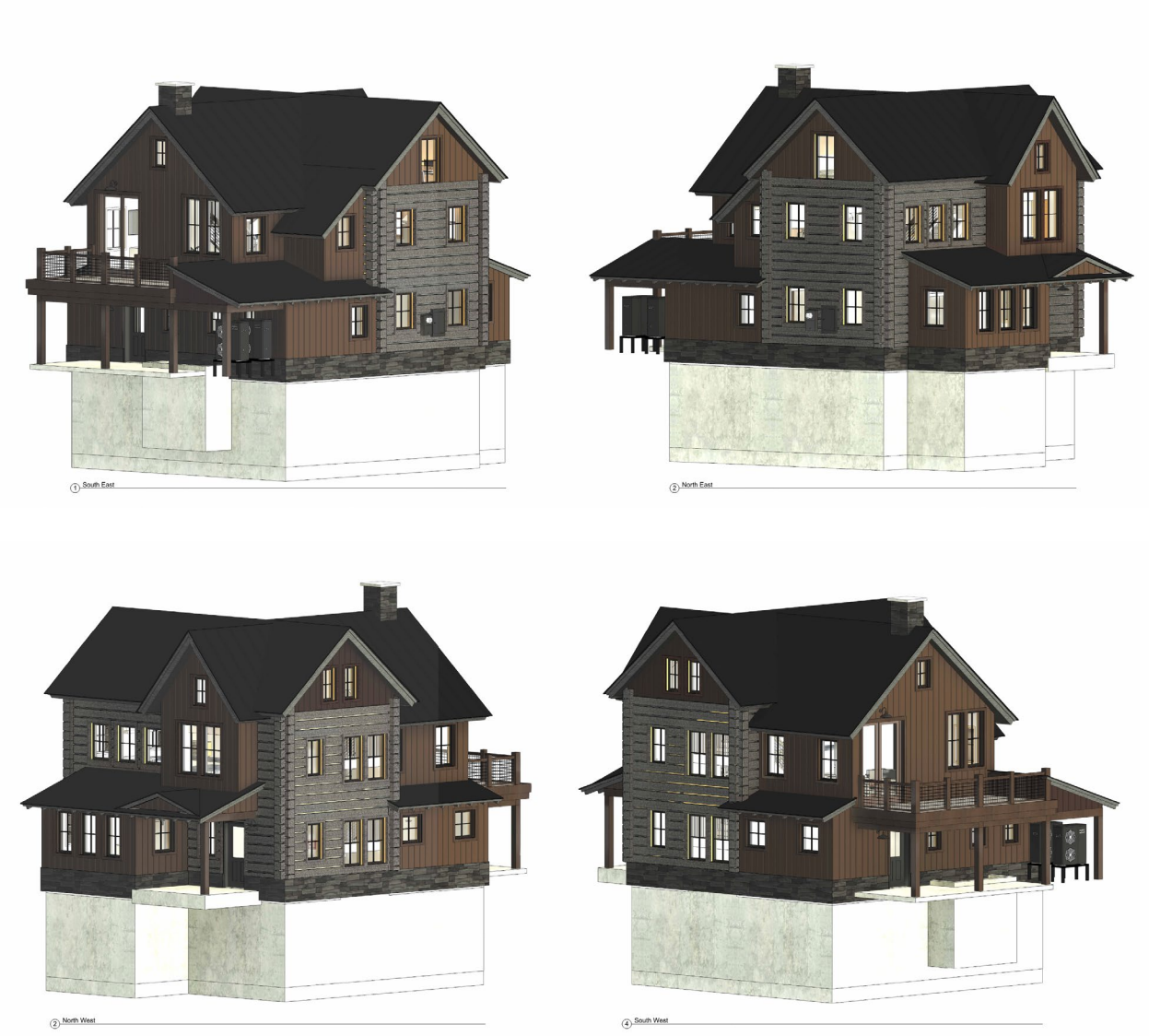
Proposed Site Plan (1/13/2025 DRC)

b. **Mass, scale and form:** Refer to GL 4.32-4.34, 5.114

The GL conveys that new infill construction should relate with the predominate scale of historic neighborhoods. The proposed residence incorporates a main ridge (35'10") oriented parallel with the street, which steps down (8") to a gable module on the north (12'3" ridge) that steps down to a smaller shed module. The building steps down (9") to a gable module on the south (22'10"). There is a secondary shed module on the south. On the east elevation there is a step back in the gable with an extension on the south side, which gives the appearance of an asymmetrical roof.

GL	Staff Analysis	DRC Recommendation
4.33-4.34	Consideration of whether the forms achieve relationships with historic buildings are in GL 4.33 and 4.34. The 3D drawings are helpful in the review. The GL conveys that new infill construction should relate with the predominate scale of historic neighborhoods. The proposed primary	12/9 DRC: Members requested a streetscape to better evaluate mass/scale and form as it relates to the context of the neighborhood.

	structure may not relate to the scale of the surrounding neighborhood. A streetscape should be provided to assess this.	
4.34 Discernable primary module	The middle parallel module meets this requirement.	Support



c. **Design and Style:** Refer to GL 4.35-4.40.

GL	Staff Analysis	DRC Recommendation
4.35	Discussion of whether overall building forms appear as a product of their own	12/9 DRC: Members requested a streetscape to better evaluate mass/scale

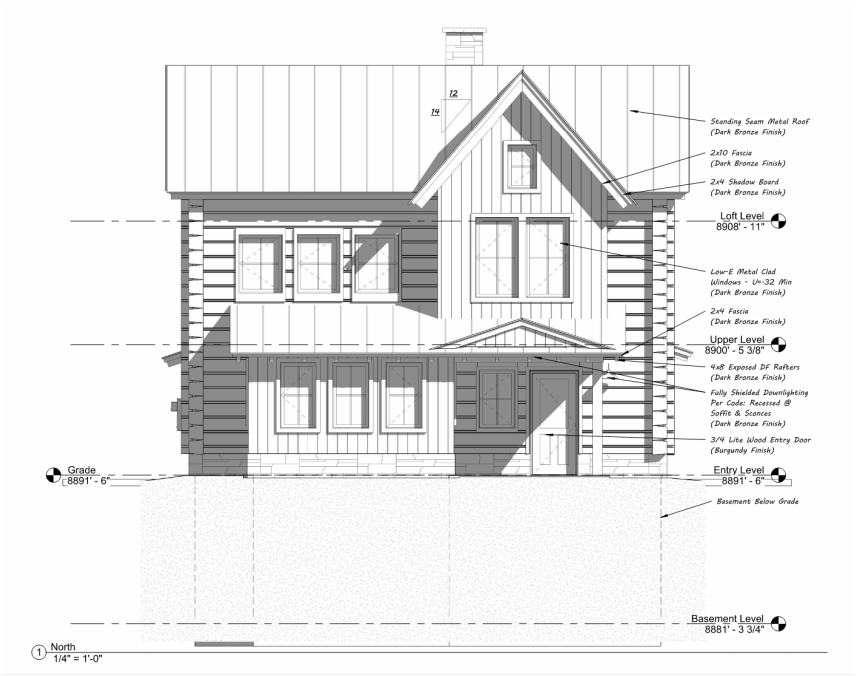
	time while relating with historic forms seen in town is encouraged.	and form as it relates to the context of the neighborhood.
4.35-4.37	Discussion is encouraged as to whether the design of the home relates with the overall styles within the neighborhood or appears incongruent.	12/9 DRC: Members requested a streetscape to better evaluate mass/scale and form as it relates to the context of the neighborhood.

d. Roof forms: Refer to guidelines *4.41-4.45.

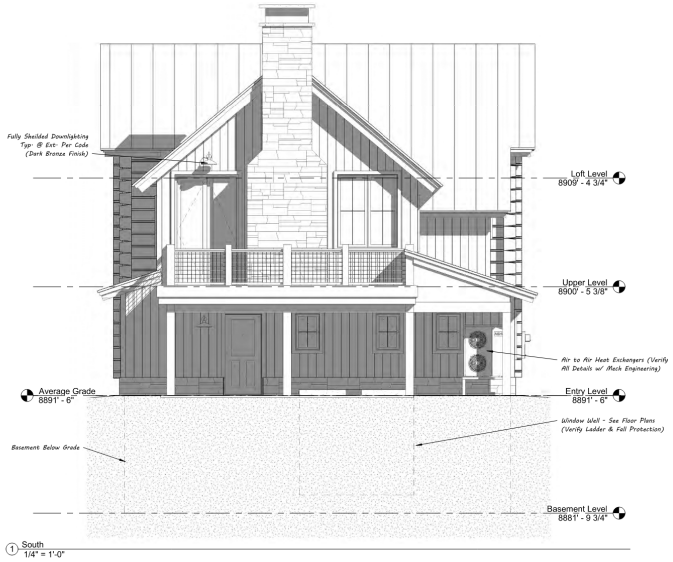
GL	Staff Analysis	DRC Recommendation
4.41 Roofs similar to those seen historically.	Most of the gabled roof forms are symmetrical and appear consistent with the intents of GL 4.41. Discussion is encouraged regarding the extension of the gable on the south side of the east gable to determine if this is consistent.	Support
4.42 Shed roofs	The shed roof, as seen on the north and south, are subordinate. General support.	Support
4.43 Mix of roof styles	Discussion is encouraged regarding the extension of the gable on the south side of the east gable to determine if this is consistent.	
4.45 Roof pitches	The gabled elements present 10:12 and 14:12 pitches and appear relational. The secondary roofs present 4:12 pitches meeting the intents of GL 4.45 b. General support.	Support
4.44 Ridge lines	The primary (35'10") ridge meets the intents of GL 4.44 a.	Support

e. **Porch features**: Refer to guidelines 4.49-4.52, 5.118.

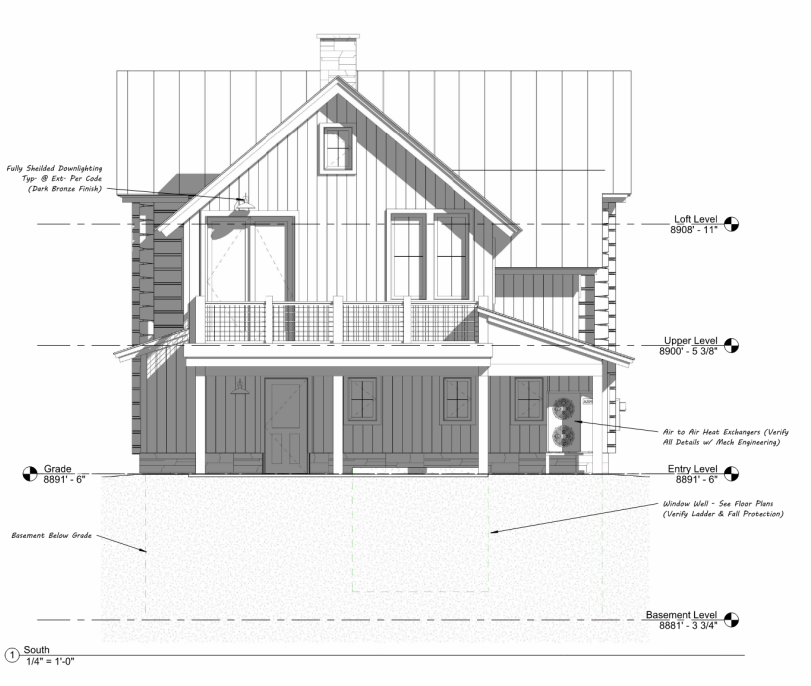
GL	Staff Analysis	DRC Recommendation
4.49/5.118 Primary entrance porch	These GL encourage clearly defining the entry, which is done in many cases with a porch as seen on many historic buildings and also on this building. General support.	Support
4.50 Mix of porch sizes	The front porch is 8'x10'6", which meets the intents of this GL.	Support
4.51 Rear entry porch	The porch on the rear is simpler with the shed than the front porch, as asked for in GL 4.51.	Support



Front porch



Rear porch (12/9/2024 DRC)



Rear porch (1/13/2025 DRC)

f. Windows: Refer to Guidelines 4.53-4.63.

GL	Staff Analysis	DRC Recommendation
4.53 Window to wall ratio	**Window to wall ratios along the front (south) elevation proposes 135.66 sf of glazing/709.74 sf wall space, which is 19.8% window to wall.** **On the front elevation, first floor there are four single windows and door glazing (49.16 sf). There is a two pack and three single windows on the second floor (68.46 sf), and one single window in the gable above (5.97 sf) which appears to conflict with the intents of 4.53 b, as there is more glazing on the upper floors.** On the west elevation there are four single windows and a two pack on the first floor and on the second floor there are three single windows and a two pack. There are two windows in the gable. On the east elevation, there are four single windows on the first floor. The second floor has four single windows.	12/9 DRC: Members supported the overall window to wall ratio. However, members voiced concern about the amount of glazing on the first floor versus the second floor in that it was top heavy.

	The gable has one window **The north elevation proposes three single windows and door glazing on the first floor and a two pack and full light French doors on the second floor with a single window in the gable.**	
4.54 Vertical emphasis	Windows are proposed as two over two, which is a consistent interpretation of historic windows. General support. A window and door schedule should be included. The windows are proposed as casement. Per GL 4.54 a. Casements should only be used for egress, which can incorporate the divided light appearance. There are small square windows proposed on the West elevation, which appear to meet the intents of GL 4.54 c.	Support
4.56 Window material	Aluminum clad windows are proposed, which are supported for infill development. When not needed for egress, double hung windows would be encouraged and should have simulated divided lights per GL 4.60. Casements should only be used for egress, which can incorporate the divided light appearance.	Support
4.57 Fenestration pattern	Windows as proposed are not closer than 12" to the corner per GL 4.57 a.	Support
4.58 Groupings of 2 or more windows	**There is 6" of trim between two packs of windows on the North, South and West elevations, as encouraged in this GL. These windows cannot be mulled.** **The three pack on the front was revised to a two pack.**	12/9 DRC: Members asked for 3.5" of trim for 2 packs, which has been provided and separation of three packs. This has also been provided.
4.59 Window and door trim	2"x4" wood. General support.	Support
4.63 Window wells	Window well on rear elevation under the deck can be supported.	Support

g. **Doors:** Refer to GL 4.64-4.69.

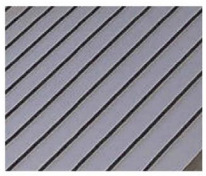
GL	Staff Analysis	DRC Recommendation
4.64/ 4.65 Primary door	The primary door is proposed as a wood, half-light door (red). General Support. A window and door schedule should be included.	Support
4.66 Secondary door	The secondary door on the first floor of the rear elevation is noted as a half-light	

	metal clad door (bronze). There are full light French doors on the rear and the materials is not noted. These doors are roughly 9' in height. Discussion is encouraged to determine if this is consistent with the intents of the GL.	

h. **Lighting**: Refer to GL 2.37-2.40; 4.74.

GL	Staff Analysis	DRC Recommendation
2.37 Exterior lighting	Goose neck fixtures at doorways are consistent with the GL and code. General support.	Support

i. **Materials:** Refer to GL 4.75-4.83.



Standing Seam Metal Roofing: Dark Bronze Finish

Fascia & Shadow Board: Dark Bronze Finish

Fascia & Rafter Tails: Medium Brown Finish

Metal Clad Windows: Dark Bronze Finish

Metal Clad Door: Dark Bronze Finish

Board & Batten Siding:
Natural Brown Finish

Wood Trim:
Natural Brown Finish

Hand Hewn Log Siding:
Natural Grey Finish

Wood Trim:
Natural Grey Finish

Stone Siding & Chimney:
Natural Grey Brown Mix

Fully Shielded Downlight:
Dark Bronze Finish

Siding is proposed as 4”x12” hand hewn log (natural gray) with stucco (light gray). There is a secondary siding which will be a 1”x8” board and batten wood siding (natural brown). There is a stone foundation cover noted at 18” (natural gray-brown mix).

Roofing is proposed as standing seam metal for roofs (dark bronze).

Fascia is noted as 2”x10” with a 2”x4” shadow board (dark bronze). There is a 2”x4’ fascia (dark brown) with 4”x8” exposed D.F. rafters (dark brown) for lower roofs. Soffit will be a ¾” tongue and groove (Grey Owl). There will be 12”x12” log corners dovetailed joints (natural gray).

Window and door trim is proposed as 2”x6” on edge buck trim (natural gray) for log portions and 2”x4” (natural brown) for areas with vertical siding.

Windows are proposed as aluminum clad (dark bronze) in casements and fixed with simulated divided lights.

The primary is proposed as wood half-light doors (burgundy). There is a secondary door on the south, which is a half light metal clad door (dark bronze). The other secondary door on the south is shown as a full light, French style door and the material should be confirmed.

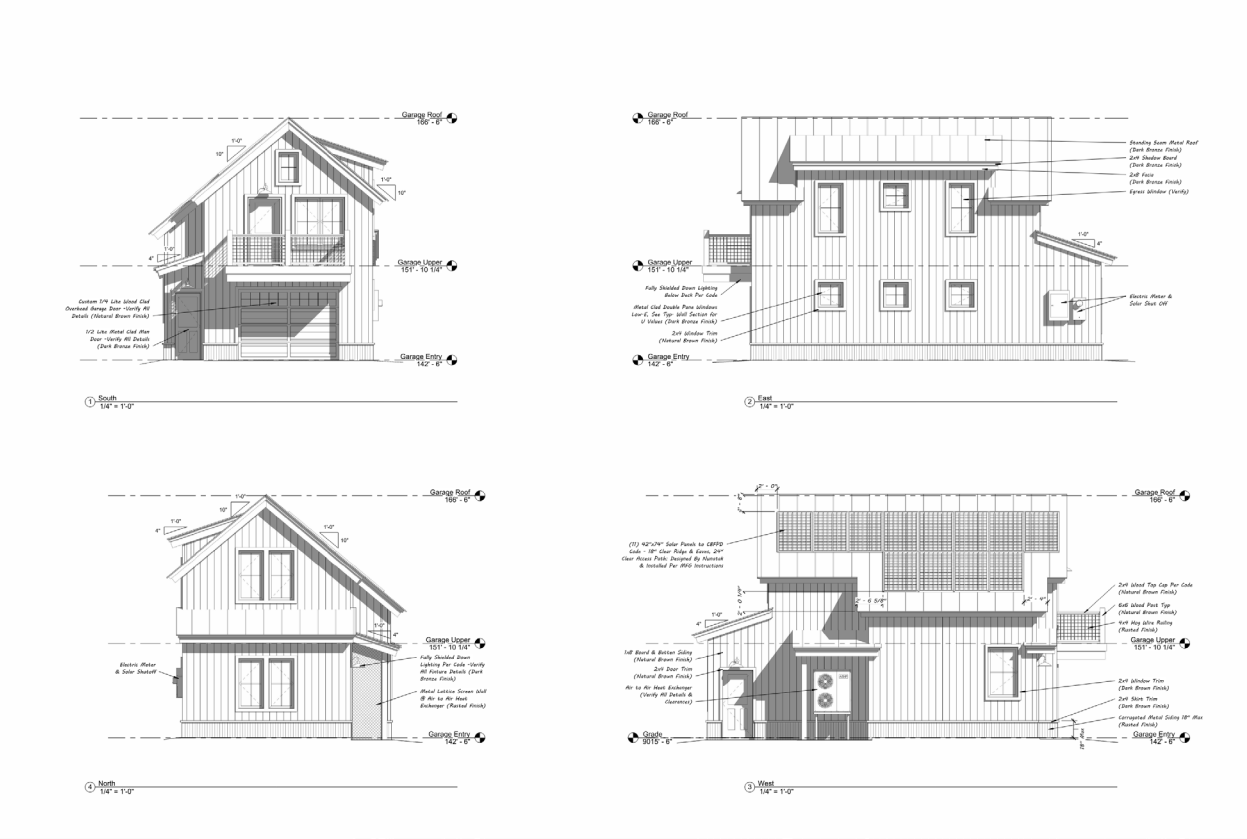
There is a natural stone chimney on the south end of the roof (gray/brown). There are 8"x8" D.F. posts (natural brown) for the front porch and rear deck. The deck proposes a 2"x4' wood top cap (natural brown), 6"x6" (confirmation needed) D.F. posts (natural brown) and 4"x4" hog wire panels (rusted). There is a 8" D.F. beam at the deck (natural brown).

GL	Staff Analysis	DRC Recommendation
4.71 Chimneys	**The oversized chimney was removed and is now a small chimney from the roof, as would have been seen historically.**	12/9 DRC: members voiced concerns regarding the large oversized chimney on the south. This has been revised.
4.72 Eaves	Eaves are between 10" and 1'6", which meets the intents of the GL.	
4.75/4.76 Exterior materials	Per GL 4.76 c, plank and chink siding is not allowed in core zones. Discussion is encouraged to determine if this meets the intents of this GL. The vertical siding meets the intents of this GL.	12/9 DRC: Members felt that the siding was a log siding not plank and chink and this was not a concern.
4.75 Exterior materials	Per GL 4.75 e and 4.80 a, the dry stacked stone can be supported at 18". General support.	Support
4.79 Painted siding	Natural finishes are proposed, which appears to conflict with this GL, as it requires paint or stain.	
4.81 Mix of materials	The materials, as noted above should be discussed, but the proposed manner in which they are applied (horizontal and vertical) meets the intents of this GL.	Support
4.82 Roofing materials	**Standing seam metal is supported.**	12/9 DRC: Members voiced concern regarding the two materials in that it added complication for this infill building within the core. This has been revised to one material.

j. **Accessory Dwelling:** Refer to GL 2.27-2.28, 4.84-4.86, 4.89-4.90.

GL	Staff Analysis	DRC Recommendation
4.85 Placement	The building is set to the rear of the site.	Support
2.30/ 4.84 Mass/scale/form	The building is simple in form with a gable facing the alley. General support. The Board can determine if an alleyscape would be of help to assess this.	Support
4.86 Vary appearance	This building will vary in appearance from other buildings on this portion of the block.	Support
4.87 ADU Mass/scale/form	**The one large, eyebrow dormer/roof element, as proposed on the east appear to conflict with GL 4.46-4.48. The Board has seen similar proposals on a few ADU's and discussion is encouraged. If the Board members**	12/9 DRC: Members suggested simplification of the two proposed elements on the east. This has been revised to one.

	consider this a dormer, this is reviewed below. GL 4.87 b allows dormers to break the eave if the height is 3' below maximum, but this is at the height maximum at 24'.	
2.30 b/4.88 Mass/scale/form	This building has a gabled ridge (10:12) running north to south with a shed module on the north (4:12). The 3D perspectives are helpful to visualize this building within the neighborhood context.	
4.89 d Decks	This deck is located in the rear and is not highly visible. Support.	Support
4.53/4.89 e Fenestration	The south elevation proposes fenestration in the garage door and person door on the first floor and a two pack of windows and door glazing on the second floor with a small window in the gable. The east elevation proposes three small square windows on the first floor and three windows on the second floor. The west elevation proposes one single window and door glazing on the first floor. The north elevation proposes a two pack on the first floor and a two pack on the second floor. Windows are proposed as casements. Similar to the discussion above for the primary residence per GL 4.54. Double hungs would be encouraged unless needed for egress. Two packs of windows must have 3.5" of trim and cannot be mulled. It appears that this has been met with the 6" provided on the north. However, the two windows on the south must be revised.	Support
4.41-4.45 Roof Forms	The 10:12 roof pitches are consistent with the existing roof pitch on the main house.	Support
4.64-4.66 Doors	There are three half-light person, metal clad doors on the south and west (dark bronze). Support. The garage door is proposed with a wood veneer (natural brown). Support.	Support



k. **Dormers on ADU's:** Refer to GL 4.66-4.67, 4.87.

GL	Staff Analysis	DRC Recommendation
4.46 Dormers in new construction	There is a roof element proposed for the east elevation. Discussion is needed to determine if the Board considers this a dormer. If so, it is a shed dormer, which is supported by this GL. .	
4.47 Dormers	The dormer steps down 1'9" from the ridge of the garage module and achieves subordination. a. If viewed as a dormer, as proposed it occupies 50.8% of the roof. b. The dormer is lower than the ridge. There is not a section of roof beneath. c. If viewed as a dormer, as proposed it occupies 50.8% of the roof. d. The proposed element extends past the middle third on both the south and north sides. e. Met.	

4.87 Dormers on ADU	4.87 b. See above. c. If considered a dormer, this breaks the eave line and isn't less than 3' than 24'. d. NA	

L. Materials: Refer to GL 4.75-4.83, 4.84-4.86 and 4.89-4.90.
The siding is proposed as 1"x8" board and batten siding (natural brown).

The roof is proposed as standing seam (dark bronze).

There is a foundation cover of rusted corrugated metal, which will not exceed 18".

Trim is noted as reclaimed wood with 2"x4" (natural brown). There is a 2"x4' skirt trim (dark brown). The fascia is shown as 2"x8" with 2"x4' shadow board (dark bronze) and corner boards of 2"x6" (natural brown).

Windows are proposed as casement and fixed in aluminum clad (dark bronze).

Person doors are proposed as a half-light metal clad doors (dark bronze) and the garage door is proposed with a wood veneer (natural brown).

Deck is proposed as a 2"x4" wood top cap (natural brown), 6"x6" wood posts (natural brown) and 4"x4" hog wire panels (rusted finish) to match the primary building. There is a 2"x2" rusty mesh screen at the heat pump.

GL	Staff Analysis	DRC Recommendation
4.90 Wood garage doors	General support.	Support
4.88 g Metal siding	The metal siding was removed.	12/9 DRC: Members voiced concern for the metal siding as proposed due to this being infill in a core zone. This has been revised.
4.88 f Simpler finishes	Other than the siding, this ADU proposes simpler finishes than the primary building.	Support.

LI. DRC Action:

a. Review the plans and material lists.
b. Site plan: Discuss the snow storage, parking plan, drainage, and topography.
c. Residence: Make a recommendation to the BOZAR regarding mass/scale/form.
d. Residence: Make a recommendation to the BOZAR regarding architectural appropriateness of the residence.
e. Accessory dwelling: Make a recommendation to the BOZAR regarding mass/scale/form.
f. Accessory dwelling: Make a recommendation to the BOZAR regarding architectural appropriateness of the accessory dwelling.
g. Make a recommendation to BOZAR regarding materials, as proposed.

Overview 12/9/2024 DRC

1. (Breuer 422 Sopris); Kyle Ryan and Andrew Hadley submitted plans on behalf of the Breuer's for a new single family residence and ADU to be located at 422 Sopris Avenue within the R1C zone. For those members that remember, an application came through for this property in 2021, but this is a new application, which would replace the previous application which is now expired. FAR's for both the primary and all buildings exceed the maximum for the zone district. Height's for both the primary and ADU exceed the maximum for the zone district. The applicants are aware of the violations and may have updated plans for you today. Otherwise, zoning requirements have been met. The new ADU will have a conditional use permit and will be required to meet the definitions within Section 16-1-20 which will be discussed at the full Board meeting. The topography for purposes of measuring FAR for the primary and ADU is 8891', which differs from what was noted on the original plans. Drainage arrows were included but need to be revised to ensure that adjacent properties are not negatively impacted. Confirmation of the number and which trees will be removed is required. There are trees along the edges of the lot and staff would like confirmation that these will remain. There is a large area of hardscape on the south side of the lot 2125 sf, which is pervious, but the area is quite large. Discussion is encouraged. The width of the sidewalk that extends into the ROW cannot exceed 4' in width. Discussion is encouraged about mass/scale and form for the proposed structure as compared to neighborhood context with the understanding that the building will be reduced in height and FAR. Roof pitches are compliant. Porches and decks are compliant. Overall window to wall ratio on the north (front) is 19.6% which is relational to other applications. However, the first floor windows total 48.47 sf and second floor windows total 67.56 sf, which conflicts with GL 4.53. Ensure two packs of windows on the south and west have 3.5" of trim and they cannot be mulled. GL 4.58 doesn't allow for groupings of more than two windows because this is a core zone. So the two three packs on the north must be separated to be single windows. Doors appear compliant. Lighting appears compliant. The plank and chink material appears to conflict with GL 4.75-4.76. Dry stacked stone appears compliant for chimney and foundation cover. Standing seam and corrugated metal are noted for roofing. However mixing material on the same building has been avoided as it adds complication. The rusted metal finish has also not been supported on other applications. Otherwise, materials are supported. The ADU is located at the rear of the lot and is varied in appearance, as asked for. Discussion is encouraged regarding the two eyebrow dormers on the east elevation. Roof pitches and decks are compliant. Windows are compliant, but must ensure 3.5" of trim between two packs. Doors are compliant. Metal siding is not supported per Gl 4.88 g in core zones. Otherwise, the materials proposed for the ADU can be supported.
   Applicant Presentation: The applicants want to supply housing so they included an ADU and the primary home footprint kept to a minimum. There are a number of trees on the site that the applicants are hoping to keep as many as possible. Staff requested an existing site plan with the trees to determine how many total trees may need to be removed. There was discussion about what caliber to mark since there are a number of small trees less than an inch in caliber. The design is intend to look like a home that has been built upon over years. Proposed a timer siding with lap corners. Applicant would like to discuss the grade change. Staff noted that the grade

discussion is more of an internal discussion that the applicant can have with the Building Inspector.

Board Questions: Schmidt asked about the window ratio between the first floor and the second floor. Schmidt recommended to do a projected elevation calculation for the fenestration rather than a folded on; additionally, the ratio still does not to be comparable to one another in order to the meet the GL. Schmidt recommended to not use the term “plank and chink” since it does not accurately represent the actual design. There was discussion about the percentage of permeable pavers in the rear. Staab felt the percentage was high when you consider the larger building footprint. Staab expressed concerns about the percentage of permeable pavers on the cite. 2.9.6 was cited during the discussion. Applicant expressed confidence in the ability to reduce pavers. Staab question whether the shape of this building is common or allowed. Applicant and staffed identified it as a modified T. Schmidt raised concerns about the number of materials on the building. 4.7.1.a was cited in the discussion of oversized rock chimneys. Staab did not express support for the mass. Schmidt also said that the chimney seemed to large for this zone. Massing of the chimney needs to be substantially reduced as well or moved to the inside. The eyebrow dormers on the ADU were discussed because they were interpreted as too complicated. GL 4.8.7b was cited during the discussions about the eyebrow dormers on the ADU.

DATE	FEES PAID	APPLICANT	APPLICATION #

DEVELOPMENT PERMIT APPLICATION

Town of Crested Butte Building Department
PO Box 39 Crested Butte, Colorado 81224
(970) 349-5338

*Return this completed application to the Building Department with all necessary documents as identified in the Building Permit Application Requirements form.

PROJECT PHYSICAL ADDRESS	LEGAL ADDRESS	ZONE	USE TYPE
422 Sopris Ave Crested Butte, CO 81224	Lots 5 & 6, Block 35 Crested Butte	R1C	Residence

	MAILING ADDRESS	TELEPHONE	EMAIL
APPLICANT/AGENT Andrew Hadley	PO Box 1294 Crested Butte, CO 81224	970-349-0806	andrew@andrewhadleyarchitect.com
PROPERTY OWNER John and Amy Breuer	4970 Lakeview Dr Fayetteville, NY 13066-9762	315-420-7966	abreuer@hb1872.build
CONTRACTOR Matt Brezonick	PO Box 3665 Crested Butte, CO 81224	970-250-8085	matt@brezco.com
ARCHITECT Andrew Hadley	PO Box 1294 Crested Butte, CO 81224	970-349-0806	andrew@andrewhadleyarchitect.com
ENGINEER Dylan Brown	60 Gillaspey Ave Unit 2 Crested Butte, CO 81224	406-396-2295	dylan@kandbstructural.com

BUILDING CLASSIFICATION:
SFR ☑ DUPLEX ☐ MULTIFAMILY ☐ COMMERCIAL ☐ ACC.DWELLING ☑ ACC.BUILDING ☐ HISTORIC ☐

PROJECT TYPE:
NEW CONSTRUCTION ☑ ADDITION ☐ REMODEL ☐ PLUMBING/MECHANICAL ☐ OTHER ☐

PROJECT DESCRIPTION	ESTIMATED PROJECT VALUATION
Construction of a 4 bedroom 4 1/2 bathroom single family residence with basement and accessory dwelling.	MATERIALS $2,400,000 LABOR $1,600,000 TOTAL $ 4,000,000

DEPARTMENTAL USE ONLY

SPECIAL CONSIDERATIONS:
CONDITIONAL USE PERMIT ☐ _____
CONDITIONAL WAIVER ☐ _____
VARIANCE ☐ _____
PUD ☐ _____

SETBACKS

	FRONT	REAR	SIDE( )	SIDE( )
Existing				
Primary				
Accessory				
Proposed				
Primary				
Accessory				

EXISTING BUILDING SIZE (SQ.FT.)	PROPOSED BUILDING SIZE (SQ.FT.)
PRIMARY	PRIMARY
ACCESSORY	ACCESSORY
TOTAL	TOTAL

EXISTING FAR	PROPOSED FAR
BUILDING WIDTH	BUILDING HEIGHT
PARKING SPACES	% OPEN SPACE
# OF LIVING UNITS	ZONE
EXISTING EQR'S	PROPOSED EQR'S

REQUIRED SUBMITTAL DOCUMENTS

Limited Power of Attorney ☐
Recorded Conveyance Deed ☐
Materials Lists ☐
Plans (Full-Size & 11"x17") ☐
Publication Fee Fee _____ ☐

This Building Permit shall become null and void if construction is not commenced within 60 days f the date of issuance. The Building Permit shall expire one year after the date of issuance and all construction must be completed prior to the expiration of the permit; provided, however, that the building inspector may renew the Building Permit for additional six month periods FOR GOOD CAUSE SHOWN and without additional cost to the applicant.

I hereby certify that all the information provided in this application is true and correct. I understand that submittal of this application does not constitute a right to perform the work or establish the use requested. I understand that the request may be denied, approved or approved with changes or conditions. Fees that are associated with the application are not refundable. I understand that the application, if approved, must be constructed in accordance with the approved plans and conform with the Town's architectural approval and applicable building codes. I understand that any approval will become null and void 180 days after the approval date if a permit is not purchased, or three years if a vested property right is purchased.

Andrew Hadley Digitally signed by Andrew Hadley Date: 2024.11.19 12:00:34 -07'00'

Signature of Contractor/Authorized Agent Date

Signature of Owner/Authorized Agent Date

ACCESSORY STRUCTURE
DESCRIPTION OF MATERIALS TO BE USED

NAME John and Amy Breuer

LEGAL Lots 5 & 6, Block 35 Crested Butte **ZONE** R1C

ADDRESS 422 Sopris Ave Crested Butte, CO 81224

TYPE OF STRUCTURE

- [ ] Accessory Building, heated and/or plumbed
- [ ] Accessory Building, cold
- [x] Accessory Dwelling
- [ ] Addition
- [ ] Historic Rehab
- [ ] Other _____

ROOFING TYPE

- [ ] Shake Shingle
- [ ] Pro Panel style
- [ ] Galvanized, Corrugated Metal
- [ ] Milled Shingle
- [x] Standing Seam
- [ ] 5-V Crimp
- [ ] Other dark bronze

EXTERIOR FINISH

Siding

TYPE	*SIZE*	*LOCATION*	*COLOR*
[ ] Horizontal			
[x] Vertical	1 X 10 board and batten		natural brown
[x] Other	Coreten rusty metal corrugated		
[ ] Stucco	18" coreten rusty metal foundation cover		
[x] Trim	2 X 4		natural brown

☑ Fascia 2 X 8 with 2 X 4 shadow board (dark bronze)

☑ Corner Boards 2 X 6 natural brown

DOORS

	MATERIAL	*STYLE*	*FINISH*
Primary door	Metal clad, half lite, bronze		
Secondary door	metal clad, half lite, bronze		
	garage door 1/4 light with wood veneer (natural brown)		

WINDOWS

Type:
- ☑ Casement
- ☑ Casement, egress
- ☐ Double hung
- ☐ Awning
- ☑ Fixed
- ☐ Slide-by

Style:
- ☑ Simulated, divided lite
- ☐ True, divided lite (historic)
- ☐ Decorative mullions
- ☐ Other _____

Material:
- ☐ Wood
- ☑ Aluminum clad, wood
- ☐ Other _____

Glazing:
- ☑ Low E
- ☐ Heat mirror
- ☑ Tempered
- ☐ Standard
- ☐ Other

Describe locations if a mix is used dark bronze

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Metal railing 4 X 4 wire mesh with wood columns 6x6 and top cap 2x4 natural brown

2 X 2 rusty wire mesh as screen at heat pump

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE Andrew Hadley

DATE Andrew Hadley Digitally signed by Andrew Hadley Date: 2024.11.19 12:14:21 -07'00'

PRIMARY STRUCTURE
DESCRIPTION OF MATERIALS TO BE USED

NAME John and Amy Breuer

LEGAL Lots 5 & 6, Block 35 Crested Butte **ZONE** R1C

ADDRESS 422 Sopris Ave Crested Butte, CO 81224

TYPE OF STRUCTURE

- [x] Single Family
- [ ] Accessory Building
- [ ] Commercial
- [ ] Multi Family
- [ ] Addition
- [ ] Historic Rehab
- [ ] Accessory dwelling
- [ ] Other

ROOFING TYPE

- [ ] Shake Shingle
- [ ] Pro Panel style
- [ ] Galvanized, Corrugated Metal
- [ ] Milled Shingle
- [x] Standing Seam
- [ ] 5-V Crimp
- [x] Other Coreten rusted corrugated metal

EXTERIOR FINISH

Siding

	TYPE	*SIZE*	*LOCATION*	*COLOR*
[x]	Horizontal	4 X 12 Reclaimed timber siding		natural grey
[x]	Vertical	1 X 10 Board and Batten siding		natural brown
[ ]	Other	stone foundation cover 18" max		(gray/brown)
[ ]	Stucco			
[x]	Trim	2 X 4 and 2"x6" To match siding		

☑ Fascia 2 X 10 with a 2 X 4 shadow board to match siding

2"x4" with 4x8" DF rafter tails for secondary roofs

☑ Corner Boards 2 X 6 natural brown and 12"x12" dove tailed logs

DOORS

	MATERIAL	*STYLE*	*FINISH*
Primary door	Wood, half lite, Red door		
Secondary door	Metal clad, half lite, bronze		
	Full light French door (south) (bronze)		

WINDOWS

Type:

- ☑ Casement
- ☑ Casement, egress
- ☐ Double hung
- ☐ Awning
- ☑ Fixed
- ☐ Slide-by

Style:

- ☑ Simulated, divided lite
- ☐ True, divided lite (historic)
- ☐ Decorative mullions
- ☐ Other _____

Material:

- ☐ Wood
- ☑ Aluminum clad, wood
- ☐ Other _____

Glazing:

- ☑ Low E
- ☐ Heat mirror
- ☑ Tempered
- ☐ Standard
- ☐ Other _____

Describe locations if a mix is used dark bronze

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

Natural stone skirt

natural stone chimney, grey brown mix.

8 X 8 columns reclaimed grey

2"x4" top cap (natural brown) 4"x4" DF posts and 4"x4" hog mesh (rusted)

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE Andrew Hadley

DATE Andrew Hadley Digitally signed by Andrew Hadley Date: 2024.11.19 12:09:33 -07'00'

Division 6 - "R1C" Core Residential District

Sec. 16-4-460. - Intent.

The purpose for which this District is created is the provision of areas for low-density residential development along with customary accessory uses in the older residential areas of the Town, where particular attention to the characteristics, size and scale of existing historic buildings is required. Recreational and institutional uses customarily found in proximity to such residential uses are included as conditional uses. It is intended that no more than two (2) units, designed or used for dwelling by a family, shall be allowed on a site.

(Prior code 15-2-6.7; Ord. 11 §1, 1993; Ord. 3 §9, 1994)

Sec. 16-4-470. - Permitted uses.

The following uses shall be permitted in the "R1C" District:

(1) One-family dwelling units.

(2) Accessory building, nonresidential use, not heated or plumbed.

(3) Home occupations.

(4) Private garages as accessory buildings to the principal permitted uses.

(Prior code 15-2-6.7; Ord. 11 §1, 1993; Ord. 3 §9, 1994; Ord. 10, 2000; Ord. 4 §1, 2009)

Sec. 16-4-480. - Conditional uses.

The following uses shall be permitted as conditional uses in the "R1C" District:

(1) Accessory dwellings.

(2) Two-family dwelling units.

(3) Historic primary dwelling redesignated as accessory dwelling, of a size not to exceed one thousand (1,000) square feet of floor area, under the conditions as are set forth in Section 16-8-70 of this Chapter.

(4) Public playgrounds and public recreation areas.

(5) Churches and church schools.

(6) Nonprofit libraries and museums.

(7) Farm and garden buildings.

(8) Public and private schools.

(9) Shop crafts.

(10) Bed and breakfast establishments, provided that the granting of such conditional use shall be subject to the requirements for short-term rentals in the "R1" District as set forth in Subsection 16-14-90(c) of this Chapter.

(11) Parking areas.

(12) Accessory building, nonresidential use, heated.

(Prior code 15-2-6.7; Ord. 11 §1, 1993; Ord. 3 §3, 1994; Ord. 5 §10, 2000; Ord. 10, 2000; Ord. 21 §3, 2004; Ord. 4 §1, 2009; Ord. No. 2, § 3(Exh. A), 3-6-2023)

Sec. 16-4-490. - Lot measurements.

The following shall be lot measurements for property located in the "R1C" District:

(1) Minimum lot area: three thousand seven hundred fifty (3,750) square feet.

(2) Maximum lot area: nine thousand three hundred seventy-five (9,375) square feet.

(3) Minimum lot width: thirty-one and one-quarter (31¼) feet.

(4) Minimum front yard: twenty (20) feet.

(5) Minimum side yard: seven and one-half (7½) feet for single-story and flat-roofed buildings, and as much as eleven and one-half (11½) feet for sloped-roofed buildings, dependent upon snow storage guidelines.

(6) Minimum rear yard:

a. Principal building: ten (10) feet.

b. Accessory building: five (5) feet.

(Prior code 15-2-6.7; Ord. 11 §1, 1993; Ord. 3 §9, 1994; Ord. 5 §§1, 2, 2000; Ord. 4 §1, 2009)

Sec. 16-4-500. - Floor areas.

The following shall regulate measurements for floor areas located in the "R1C" District:

(1) Minimum floor area: four hundred (400) square feet for each residential unit; provided, however, that the minimum floor area for an accessory structure built before July 1, 1942, which is being converted to a residential unit, historic accessory structure shall be two hundred twenty (220) square feet, plus a closet, a bathroom and one hundred (100) additional square feet for each occupant in excess of two (2), only if the following conditions are met:

a. The residential unit must be an accessory dwelling used exclusively as a long-term rental unit;

b. The occupants of the dwelling must have been residents of the County for three (3) consecutive years of the preceding seven (7) years;

c.

At least fifty-one percent (51%) of the occupants' income must be earned from work for an employer situated within the County or from work actually performed in the County; and

d. The above limitations for occupants and the limitation of the term of rental shall be recorded pursuant to Section 16-9-70 of this Chapter.

(2) Maximum floor area:

a. Accessory building, including an accessory dwelling, if any: one thousand (1,000) square feet or two-thirds (⅔) of the floor area of the principal building, whichever is smaller.

b. Accessory dwelling: one thousand (1,000) square feet of floor area or two-thirds (⅔) of the floor area of the principal building, whichever is smaller.

(3) Maximum floor area ratio:

a. Principal building: 0.3 as a matter of right up to 0.32, depending on neighborhood context and lot size, provided that no principal building shall be larger than two thousand five hundred (2,500) square feet.

b. All buildings: 0.48, provided that all buildings shall not be larger than three thousand five hundred (3,500) square feet in the aggregate.

(Prior code 15-2-6.7; Ord. 11 §1, 1993; Ord. 3 §3, 1994; Ord. 4 §1, 2009)

Sec. 16-4-510. - Building measurements.

The following shall regulate measurements for buildings located in the "R1C" District:

(1) Maximum building height:

a. Principal building: twenty-eight (28) feet.

b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.

c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.

(2) Maximum building width: thirty-five (35) feet.

(Prior code 15-2-6.7; Ord. 11 §1, 1993; Ord. 3 §§11, 32, 1994; Ord. 4 §1, 2009)

Sec. 16-4-520. - Additional provisions.

(a) Open space required: fifty percent (50%) of the lot area shall be open, unencumbered and free of any building or structure.

(b) Minimum exterior wall height shall be seven (7) feet.

(c) Minimum vertical distance from eave line of roof to the finished grade level shall be six (6) feet.

(d)

Slope of roof shall be a minimum of 4:12. A flat roof must contain a parapet on the side facing a street, and as otherwise required by the Board.

(e) Stream margin review: all uses within twenty (20) feet of a designated water source shall meet the requirements of Section 16-11-10 of this Chapter.

(f) Minimum lot street frontage shall be thirty-one and one-quarter (31¼) feet.

(Prior code 15-2-6.7; Ord. 11 §1, 1993; Ord. 3 §§10, 11, 32, 1994; Ord. 5 §3, 2000; Ord. 4 §1, 2009)

Sec. 16-8-30. - Criteria for decision.

(a) No conditional use shall be approved unless architectural approval for any exterior change associated with such use has also been approved, and the Board finds that the use complies with all of the criteria contained in this Section. If the use does not comply with all of such criteria, or if architectural approval for the exterior changes associated with such use has not been obtained, the use shall either be approved with conditions that ensure compliance with all such criteria and the requirements of the Board for architectural approval, be continued to a date certain or be denied by a motion of the Board. If a continued request is not rescheduled by the proponent for discussion to occur on or before the date to which the request is continued, the request is deemed to be denied without further action by the Board.

(b) The use must:

(1) Be compatible with the neighborhood context and size. When determining compatibility with the neighborhood, the Board shall consider at least the following:

a. Size.

b. Density of buildings.

c. Amount of open space.

d. Scale.

e. Snow storage.

f. Snow removal.

g. Landscaping.

h. Similar land uses.

(2) Be consistent with the objectives and purposes of this Chapter and the applicable zoning district.

(3) Not create congestion, automotive or pedestrian safety problems or other traffic hazards.

(4) Not create any significant noise, dust, vapor, fumes, odor, smoke, vibration, glare, light, trash removal or waste disposal problems.

(5) Not create significant adverse effects to public facilities, rights-of-way or utilities.

(6) Not create significant adverse impacts on the uses of adjacent property.

(7) Allow for adequate parking for the use or make payment in lieu if allowed in the zone district.

(c) In addition, the net effect of any proposed use on the number of long-term housing units should be considered.

(Prior code 15-2-16; Ord. 13 §2, 1991; Ord. 13 §2, 2006; Ord. 4 §1, 2009)

Contents:

Architectural:

(0) General Notes
(1) Site Plan
(2) Basement Floor Plan
(3) Entry Floor Plan
(4) Upper Floor Plan
(5) Loft Floor Plan
(6) North & East Elevations
(7) South & West Elevations
(8) East Perspective Elevations
(9) West Perspective Elevations
(10) Sections
(11) Stair Sections
(12) Height & Area Calculations
(G1) Garage Plans
(G2) Garage Elevations
(G3) Garage Perspective Elevations
(G4) Garage Sections

General Notes:

1. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
ALL CODE REFERENCES HEREIN REFER TO THE FOLLOWING.
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2023 NATIONAL ELECTRICAL CODE (NEC)
2021 INTERNATIONAL FIRE CODE (IFC)
2021 INTERNATIONAL PLUMBING CODE (IPC)
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2. THE GENERAL CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL UTILITY CONNECTIONS, THEIR ROUTING, METER LOCATIONS AND OTHER ASSOCIATED ITEMS.
3. UNLESS OTHERWISE NOTED, PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' AWAY FROM THE FOUNDATION.
4. REVIEW SOILS REPORT PRIOR TO CONSTRUCTION AND FOLLOW ALL RECOMMENDATIONS. CONTACT SOILS ENGINEER FOR QUESTIONS.
5. ALL WINDOWS TO BE DOUBLE PANE WITH A MAXIMUM U-FACTOR OF 0.32.
6. REFER TO TYPICAL WALL SECTION FOR ALL R-VALUES. ALSO REFER TO IECC FOR ANY ADDITIONAL U-VALUES OR DETAILS.
7. CONTINUOUS HANDRAILS SHALL BE INSTALLED AT ALL STAIRWAYS WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL BE A MINIMUM 34" TO A MAXIMUM OF 38" ABOVE STAIR TREAD. HANDRAIL SHALL TERMINATE INTO A WALL OR POST.
8. INSTALL A WHOLE HOUSE HEAT RECOVERY VENTILATION (HRV) SYSTEM.
9. A PASSIVE RADON MITIGATION SYSTEM IS REQUIRED AND SHALL MEET APPENDIX F OF THE IRC. THE LOCATION OF A FUTURE RADON EXHAUST FAN MUST BE PROVIDED WITH AN ELECTRICAL OUTLET AND SPACE TO MAINTAIN OR REPLACE THE FAN IF REQUIRED. THE RADON EXHAUST FAN IS ONLY REQUIRED IF A TEST SHOWS ABOVE APPROVED EPA LEVELS.
10. ALL NEW CONSTRUCTION TO MEET THE DEPARTMENT OF ENERGY (DOE): ZERO ENERGY READY HOME (ZERH) PROGRAM. INCLUDING HERS MODELING REPORT & AUDITING INSPECTIONS PER THE ZERH PROGRAM.
11. EACH BATHROOM INCLUDING HALF BATHROOMS NEED TO HAVE A BATH FAN EXHAUSTED TO THE EXTERIOR OF THE BUILDING.
12. ALL APPLIANCES MUST BE HIGH EFFICIENCY, DIRECT VENTED APPLIANCES.
13. ALL WOOD FIREPLACES SHALL BE EPA APPROVED FOR EMISSIONS & HIGH ALTITUDE OPERATION.
14. 100% OF ALL LIGHT FIXTURES SHALL HAVE HIGH EFFICIENCY LAMPING PROVIDED AT THE TIME THE CERTIFICATE OF OCCUPANCY IS ISSUED.
15. ALL ELECTRICAL OUTLETS, LIGHT FIXTURES, SWITCHES, ETC. SHALL COMPLY WITH ADOPTED CODE, NEC AND AS AMENDED BY THE LOCAL CITY CODES.
17. BUILDER AND OWNER ARE TO PERFORM A WALK-THRU PRIOR TO ELECTRICAL ROUGH IN TO VERIFY ALL SWITCH, LIGHT, OUTLET AND FIXTURE LOCATIONS & HEIGHTS.
18. ALL ELECTRICAL OUTLET AND SWITCHES ON EXTERIOR WALLS SHALL HAVE FOAM GASKETS INSTALLED BEHIND THE OUTLET.
19. A GFCI PROTECTED OUTLET MUST BE PROVIDED IN ALL BATHROOMS ADJACENT TO EACH BASIN LOCATION.
20. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY BACKUP.
21. ALL RECESSED LIGHTING INSTALLED WITHIN AN INSULATED CEILING SHALL BE AIR TIGHT AND IC RATED.
22. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH ALL APPLICABLE ELECTRICAL CODES.
23. OUTLETS IN THE FOLLOWING LOCATIONS ARE TO HAVE GFI PROTECTION: BATHROOMS, GARAGES, LAUNDRY ROOMS OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, WET BAR SINKS AND ROOFTOPS.
24. ALL APPLIANCES OTHER THAN RANGES SHALL BE ENERGY STAR RATED.
25. A BLOWER DOOR TEST SHOWING A MAXIMUM AIR EXCHANGE RATE OF 2.5 PER HOUR SHALL BE PERFORMED ON THE BUILDING PRIOR TO OCCUPANCY.
26. ALL HOT & COLD INTERIOR AND EXTERIOR WATER PIPES SHALL BE INSULATED TO R-3.
27. ALL CRAWL SPACES SHALL BE MECHANICALLY VENTILATED.
28. VENTING FOR RANGES OR COOKTOPS SHALL EXHAUST 400 CFM OR LESS OR MAKE UP AIR WILL BE PROVIDED TO ROOM PER IRC SECTION M1503.4.
29. ALL PENETRATIONS THROUGH THE MECHANICAL ROOM & GARAGE WALLS AND CEILING MUST BE FIRE CAULKED.
30. LOCAL AUTHORITIES SHALL APPROVE ALL METER LOCATIONS.
31. OBTAIN APPROVAL FROM LOCAL FIRE AUTHORITIES FOR DRIVEWAY ACCESS, FIRE STAGING AREA AND STANDPIPE DESIGN PRIOR TO CONSTRUCTION.
32. ALL DUCTS SHALL BE SEALED IN ACCORDANCE WITH THE 2021 IMC
33. A GENERAL INTEREST IN PROVIDING FINISH MATERIALS WITH LOW OR NO VOC'S SHOULD BE UNDERTAKEN THROUGHOUT THE COURSE OF THE PROJECT. CONTACT ARCHITECT WITH ANY QUESTIONS.
34. VERIFY ALL KITCHEN, BATHROOM DESIGN, AND INTERIOR FINISHES WITH OWNER.
35. REFER ALL STRUCTURAL QUESTIONS TO COLORADO STRUCTURAL, MIKE ARBANY - 907-349-5922
36. REFER ALL MECHANICAL QUESTIONS TO RESOURCE ENGINEERING GROUP, AUGUST HASZ -970-349-1216
37. CONTRACTOR TO REQUEST MEETING WITH BUILDING INSPECTOR TO ESTABLISH TOP OF FOUNDATION & BENCH MARK PRIOR TO CONSTRUCTION.
38. ANY HEATED OUTDOOR AREAS REQUIRE A REMP FORM & OUTDOOR ENERGY USAGE PERMIT.
39. SOLID FUEL BURNING FIREPLACE REQUIRES A HERS RATING OF 30 OR LESS.

0

General Notes

12-12-2024

SCALE:

DRAWN BY: Kyle Ryan

PROJECT ADDRESS:
422 Sopris Ave.
Crested Butte, CO
81224

Breuer Residence

SET ISSUED	DATE
BOZAR Review #1	11-22-2024
BOZAR Review #2	12-09-2024

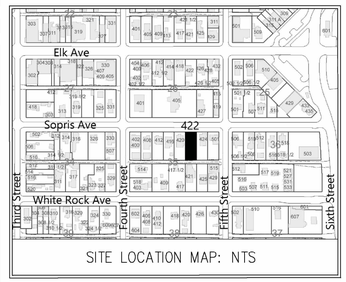
ANDREW HADLEY ARCHITECT
POST OFFICE BOX 1294
CRESTED BUTTE, CO. 81224
(970) 349 - 0806

SITE-PLAN
1"=10'-0"

Sopris Avenue
768.0' Public Right-Of-Way
Rec. No. 260766
ASPHALT @ STREET
CONCRETE @ GUTTER
GRAVEL @ TOWN RIGHT OF WAY
SEWER LINE
ELECTRONIC STREET SIGN (TO BE MOVED OFF CENTER OF SITE)
SAND SET PAVERS TYP. (NON HEATED & 4'-0" MAX WIDTH @ TOWN R.O.W.)
DRAINAGE
8895'
8894'
8893'
8892'
8891'
8890'
8889'
Concrete & Asphalt Entry
CORNER MARKER
BIKE PARKING PULLOUT
PROPERTY LINE
BUILDING SETBACK
NEW ASPEN TREES
NEW EVERGREEN TREES
SHRUB BUFFER ALONG HOUSE
SOD TYP.
SAND SET PAVERS TYP. (NATURAL COLOR VERIFY PATTERN)
SNOW STORAGE
EXISTING TREES
NEW ASPEN TREES
ELEC METER & SHUTOFF (SEE ELEVATIONS)
HOT TUB: PROVIDE POWER & SHUTOFF (VERIFY DETAILS)
ELEC METER & SOLAR SHUTOFF (SEE ELEVATIONS)
WATER, ELEC, PH, CABL, TO SHARE TRENCH W/ BUFFER
SEWER LINE (IN SEPARATE TRENCH)
(2) 10'X20' PARKING SPACES
OVERHEAD POWER/TELEPHONE POLE TYP.
GRAVEL @ PROP LINE
UNDERGROUND POWER (CALL 811 BEFORE EXCAVATION)
UNDERGROUND GAS (CALL 811 BEFORE EXCAVATION)
ELEVATED DECK (SEE FLOOR PLANS)
GRAVEL @ ALLEY
ELECTRIC TRANSFORMER TYP
TELEPHONE JUNCTION BOX TYP
192.0' Public Alley
Rec. No. 260766
Lot 6
Lot 5
Lot 4
Lot 3
Lot 2
Lot 1
Lot 10
Lot 9
Lot 8
Lot 7
Lot 24
Lot 25
Lot 26
Lot 27
Lot 28
Lot 29
Lot 30
Lot 31
Lot 32
Gravel Alley
PEAK EL: 8921.1'
Approximate Location Multi-Level Wood Framed Structure
PEAK EL: 8909.7'
Approximate Location Single Story Wood Framed Structure
PEAK EL: 8914.3'
Approximate Location Multi-Story Wood Framed Structure
PEAK EL: 8917.3'
Approximate Location Multi-Story Wood Framed Structure
Approximate Location Multistory Wood Framed Structure
Adair, Frark Et Al. Book 734, Page 508
Atkins, Et Al. Reception No. 615736
Rungle, Jannette Reception No. 596544
Stiles Trust, Zihska Trust Reception No. 645616
Bonnie Kate Condominiums
Essex, Paul & Nancy Reception No. 643827
Manger, Mallika Reception No. 659671
(Basis of Bearings) N89°58'18"E 75.00'
Site Benchmark Found 5/8" Rebar and 1.25" Yellow Plastic Cap 9476 El.=8891.9'
N89°58'18"E 50.00'
S89°58'18"W 50.00'
N00°01'42"W 125.00'
S00°01'42"E 125.00'
15'-0"
9'-0"
EM
T

LEGEND

NEW CONTOURS	
OLD CONTOURS	
DRAINAGE	
WATER	W
SEWER	S
ELECTRIC	E
TELEPHONE	P
CABLE	C
PROPERTY BOUNDARY	
BUILDABLE ENVELOPE	
CORNER MARK	
ASPHALT	
GRAVEL	
SNOW STORAGE	
PAVERS	
SOD	
EXISTING ASPEN	
EXISTING EVERGREEN	
PROPOSED ASPEN	
PROPOSED EVERGREEN	
DECIDUOUS SHRUB	
EVERGREEN SHRUB	



SITE LOCATION MAP: NTS

1

Site Plan

12-12-2024
SCALE:
DRAWN BY: Kyle Ryan
PROJECT ADDRESS:
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Crested Butte, CO
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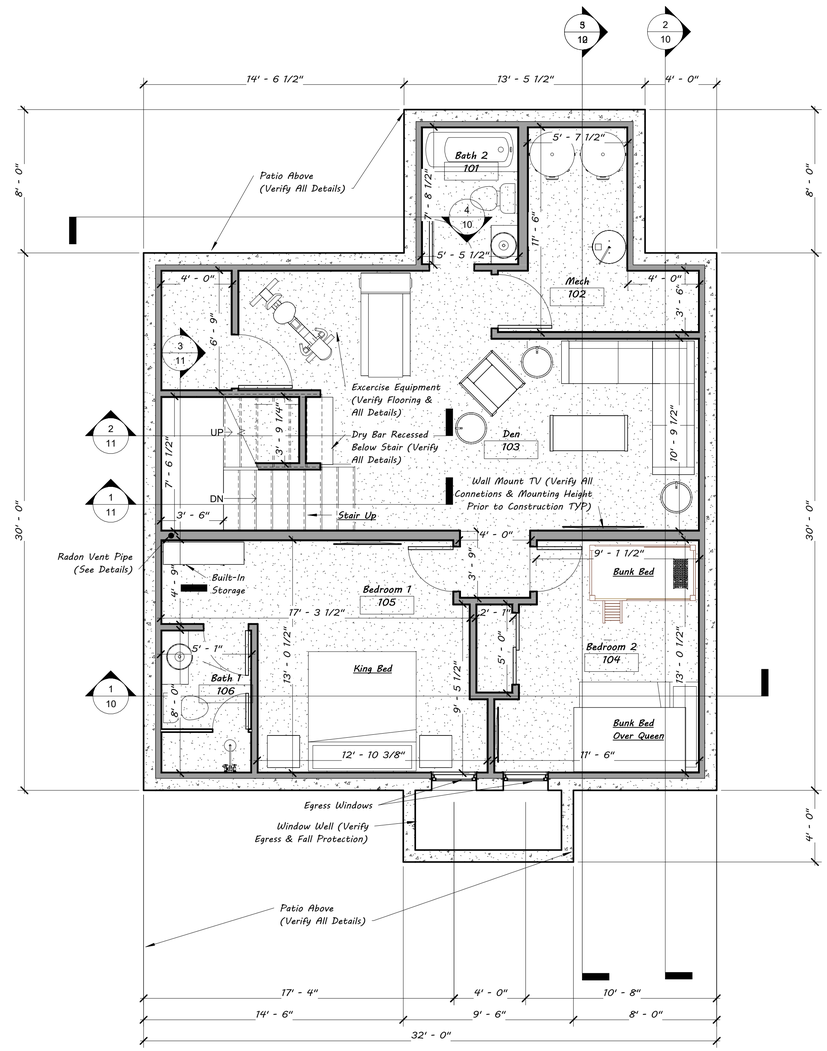

1 Basement Level
1/4" = 1'-0"

2

Basement Floor Plan

12-12-2024
SCALE: 1/4" = 1'-0"
DRAWN BY: Kyle Ryan
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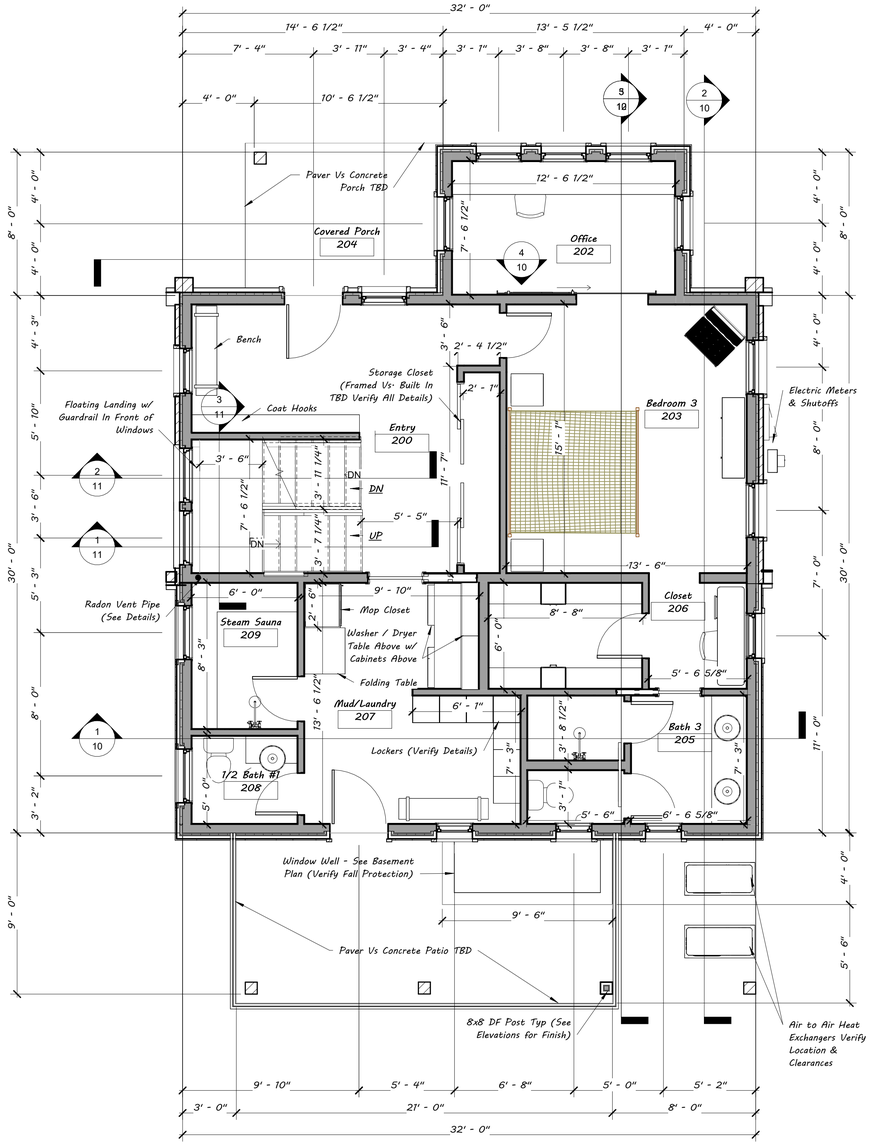

1 Entry Level
1/4" = 1'-0"

3

Entry Floor Plan

12-12-2024
SCALE: 1/4" = 1'-0"
DRAWN BY: Kyle Ryan
PROJECT ADDRESS:
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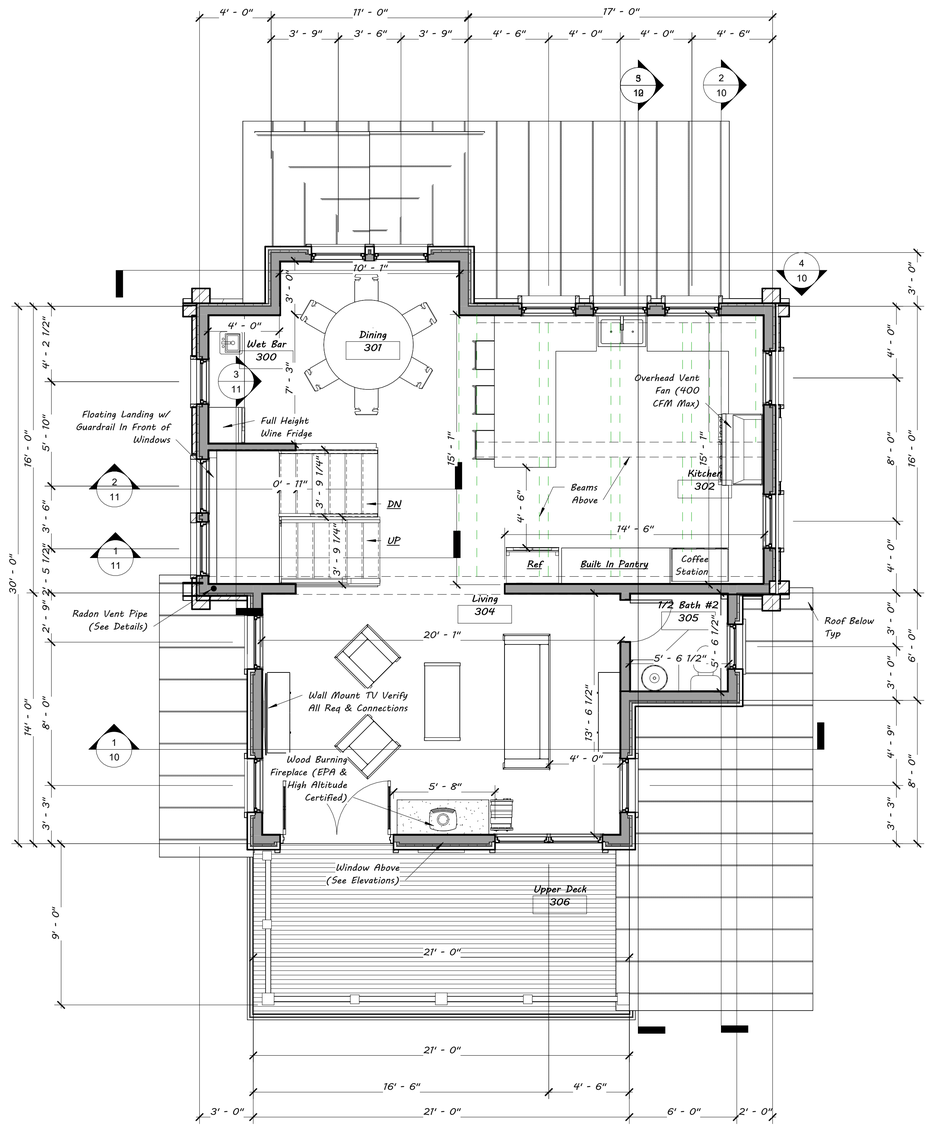

1 Upper Level
1/4" = 1'-0"

4

Upper Floor Plan

12-12-2024
SCALE: 1/4" = 1'-0"
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PROJECT ADDRESS:
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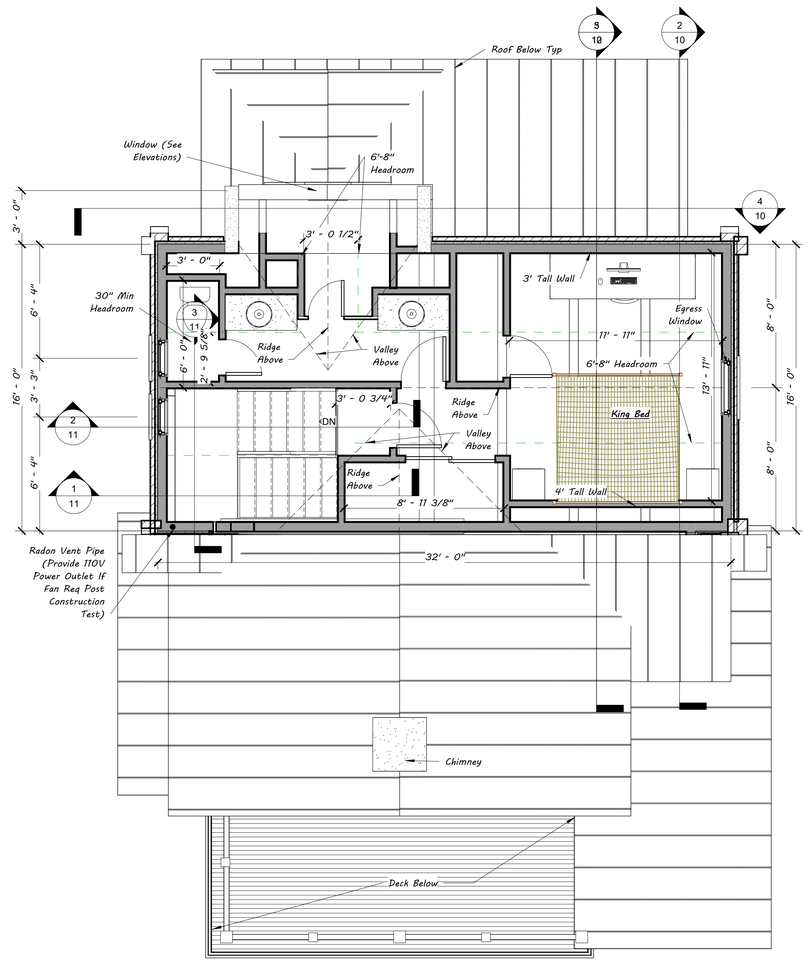

1 Loft Level
1/4" = 1'-0"

5

Loft Floor Plan

12-12-2024
SCALE: 1/4" = 1'-0"
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PROJECT ADDRESS:
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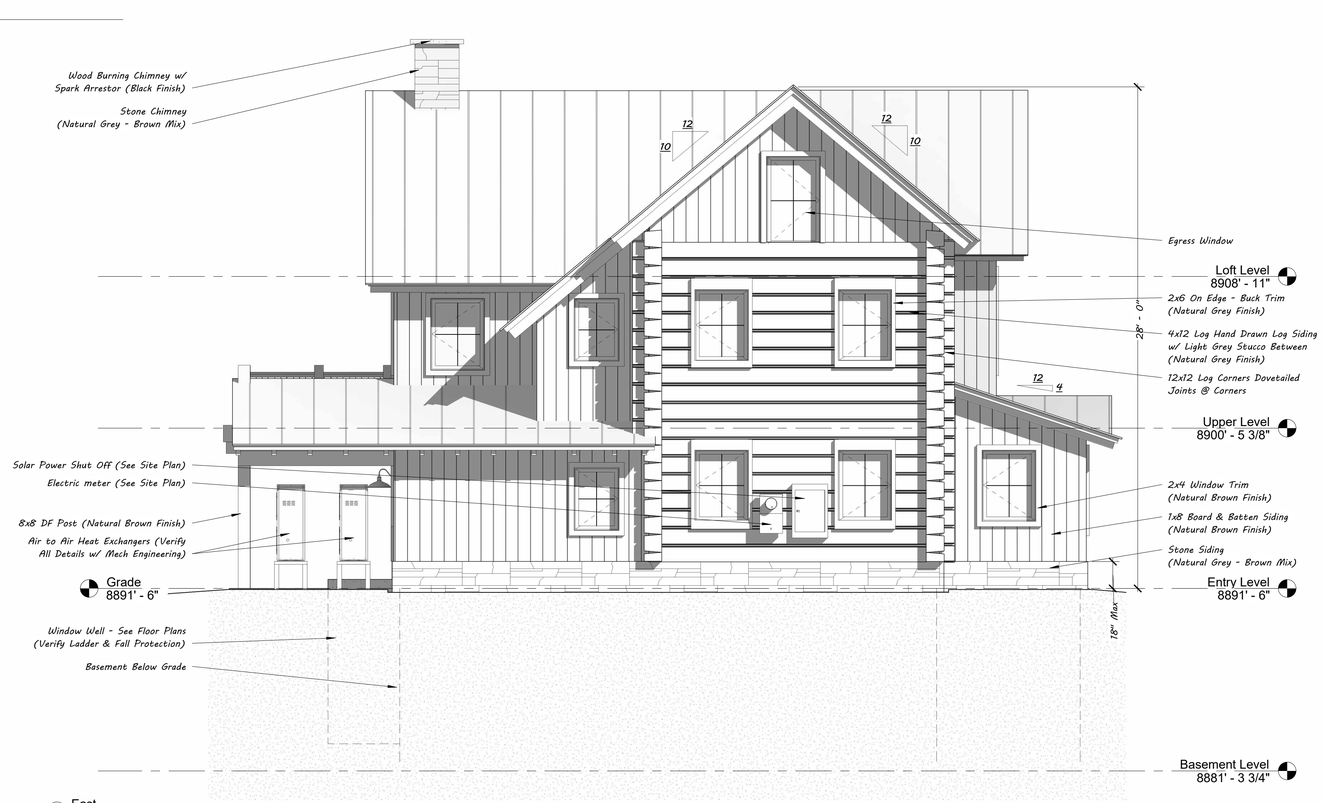
1 North
1/4" = 1'-0"



2 East
1/4" = 1'-0"

6

North & East Elevations

12-12-2024

SCALE: 1/4" = 1'-0"

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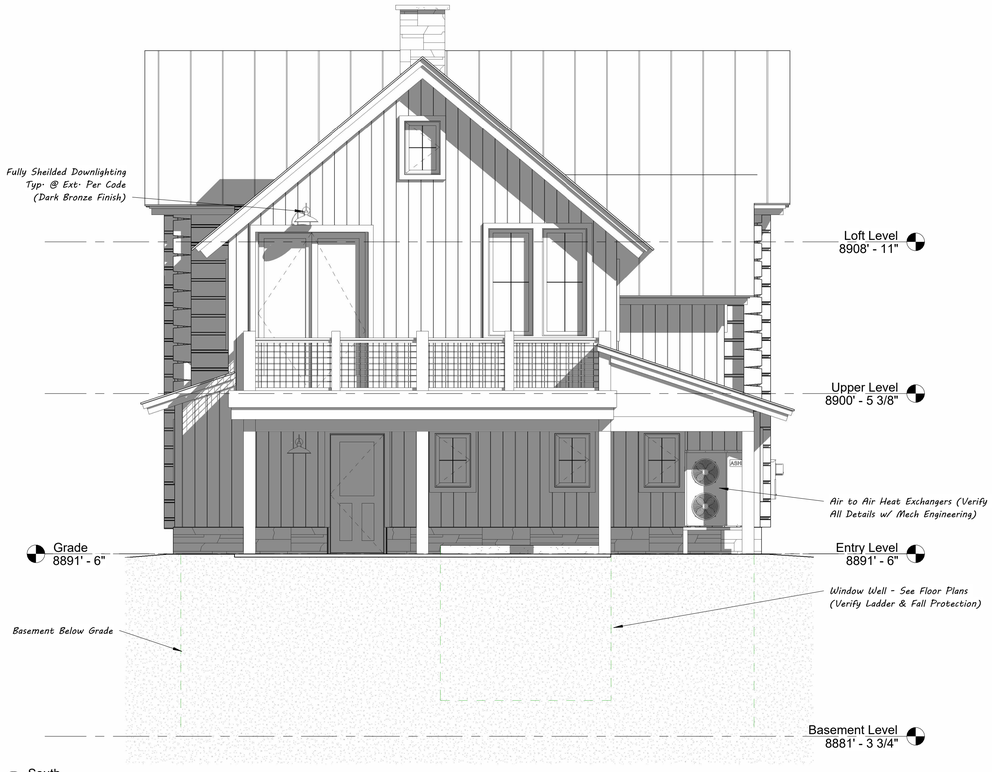

1 South
1/4" = 1'-0"

2 West
1/4" = 1'-0"

7

South & West Elevations

12-12-2024

SCALE: 1/4" = 1'-0"

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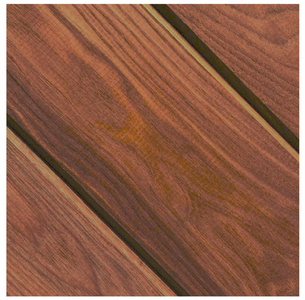
Standing Seam Metal Roofing:
Dark Bronze Finish

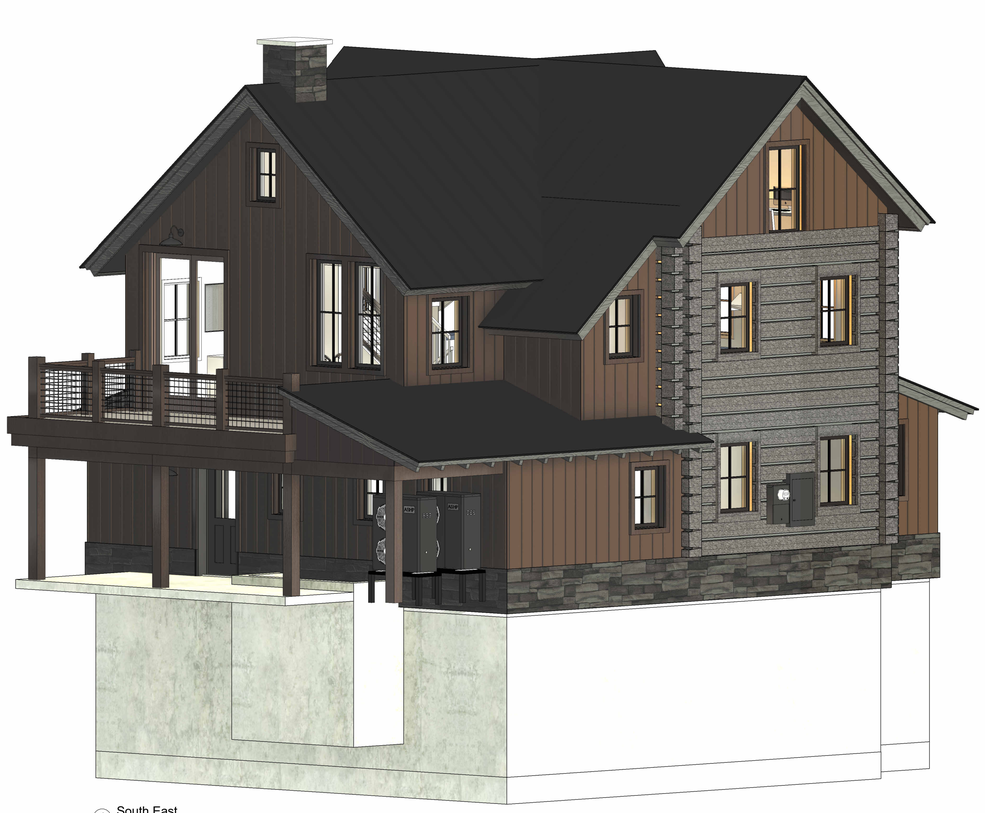
Fascia & Shadow Board:
Dark Bronze Finish



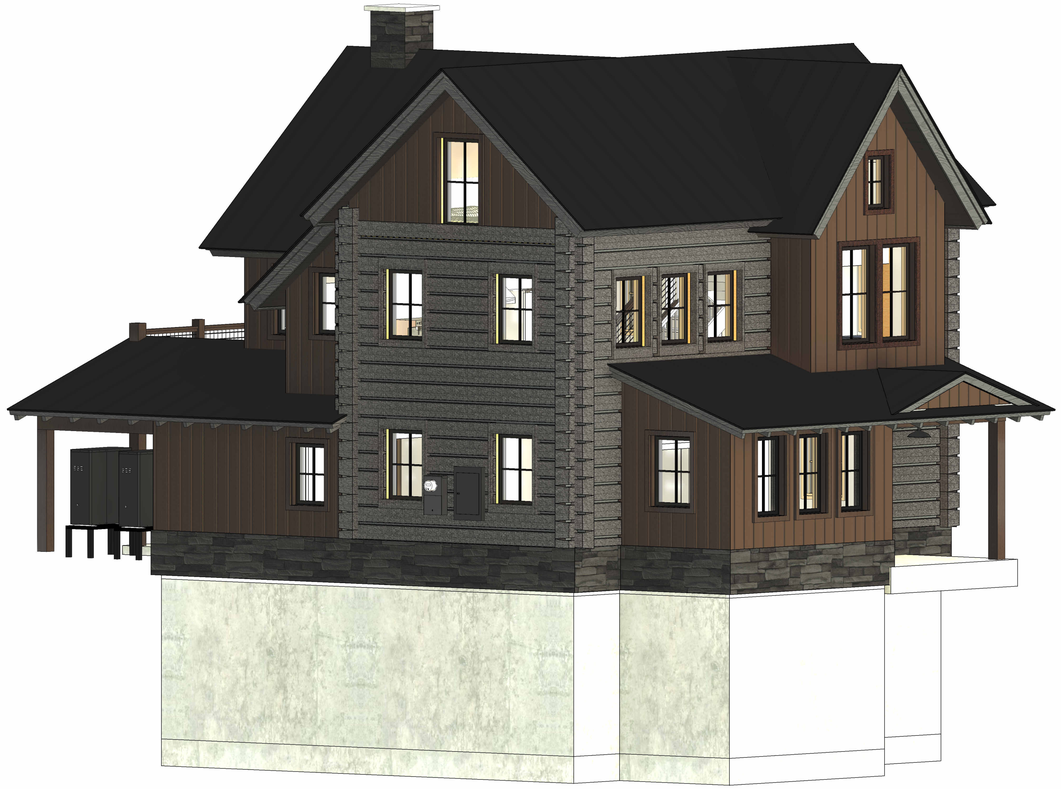
Fascia & Rafter Tails:
Medium Brown Finish

Metal Clad Windows:
Dark Bronze Finish

Metal Clad Door:
Dark Bronze Finish



1 South East



2 North East

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East Perspective Elevations

12-12-2024

SCALE:

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Board & Batten Siding:
Natural Brown Finish

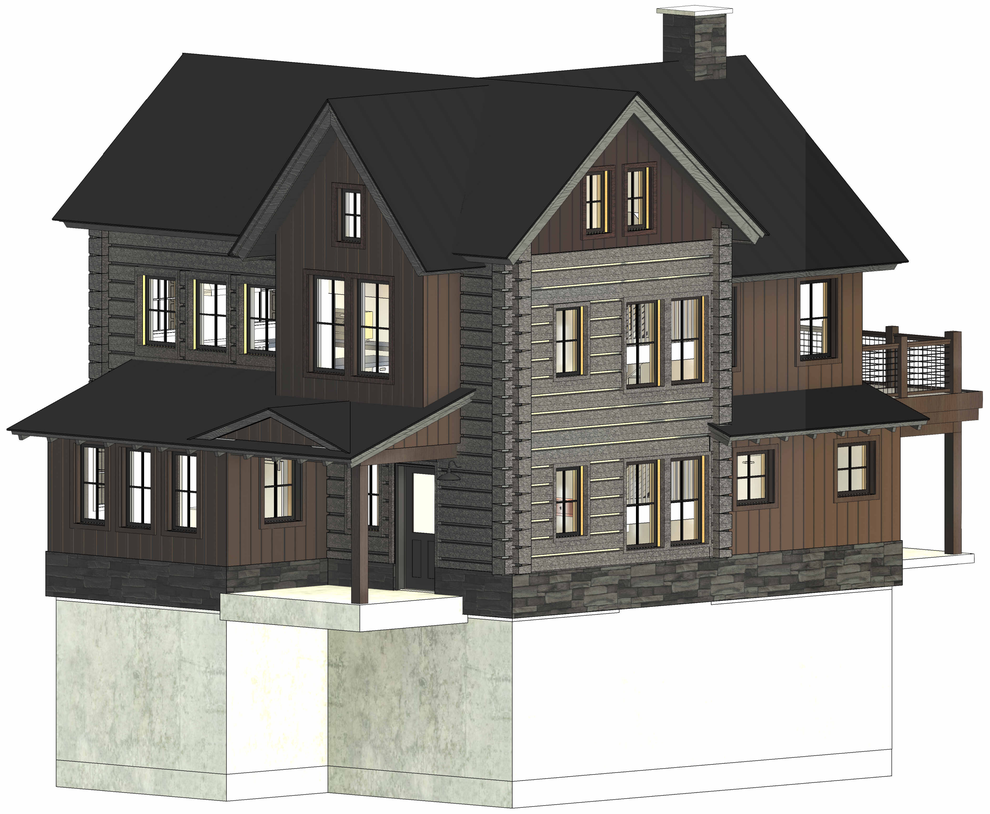
Wood Trim:
Natural Brown Finish

Hand Hewn Log Siding:
Natural Grey Finish

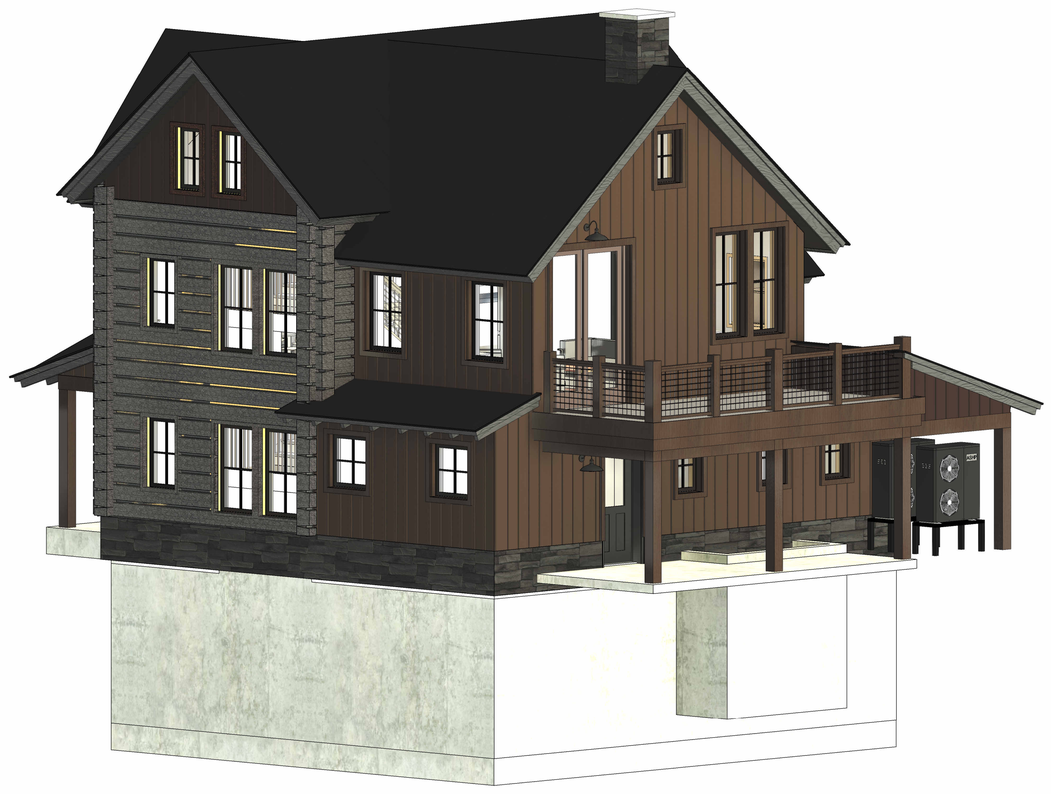
Wood Trim:
Natural Grey Finish

Stone Siding & Chimney:
Natural Grey Brown Mix

Fully Shielded Downlight:
Dark Bronze Finish



2 North West



4 South West

9

West Perspective Elevations

12-12-2024

SCALE:

DRAWN BY: Kyle Ryan

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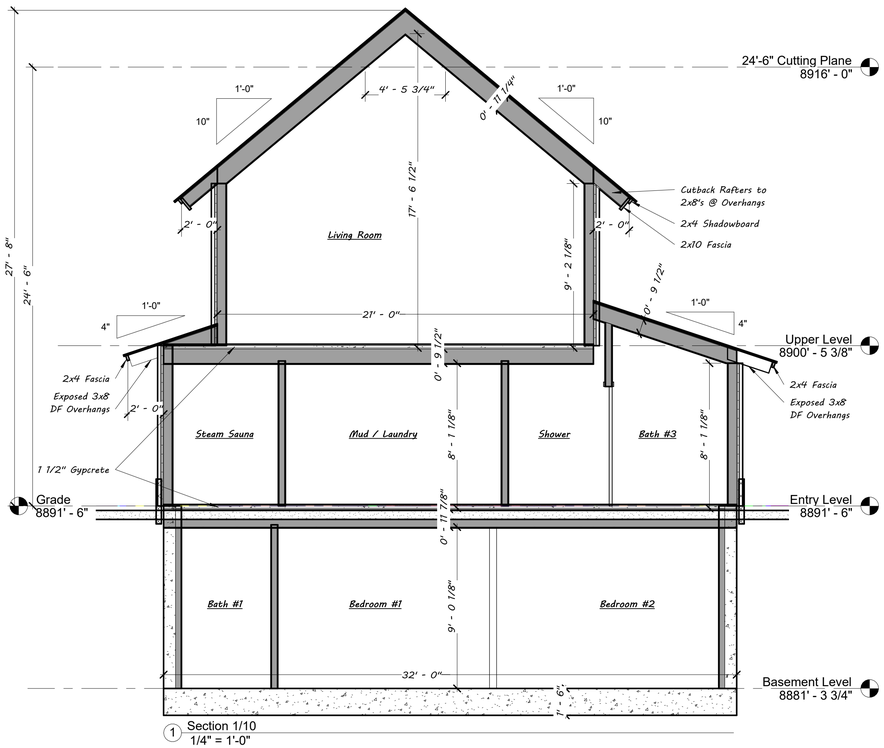
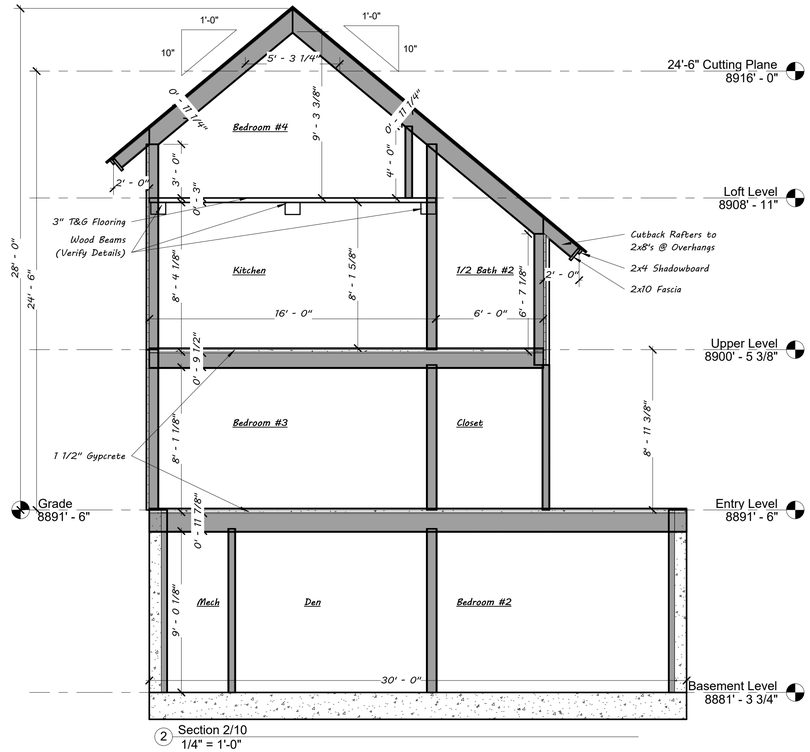
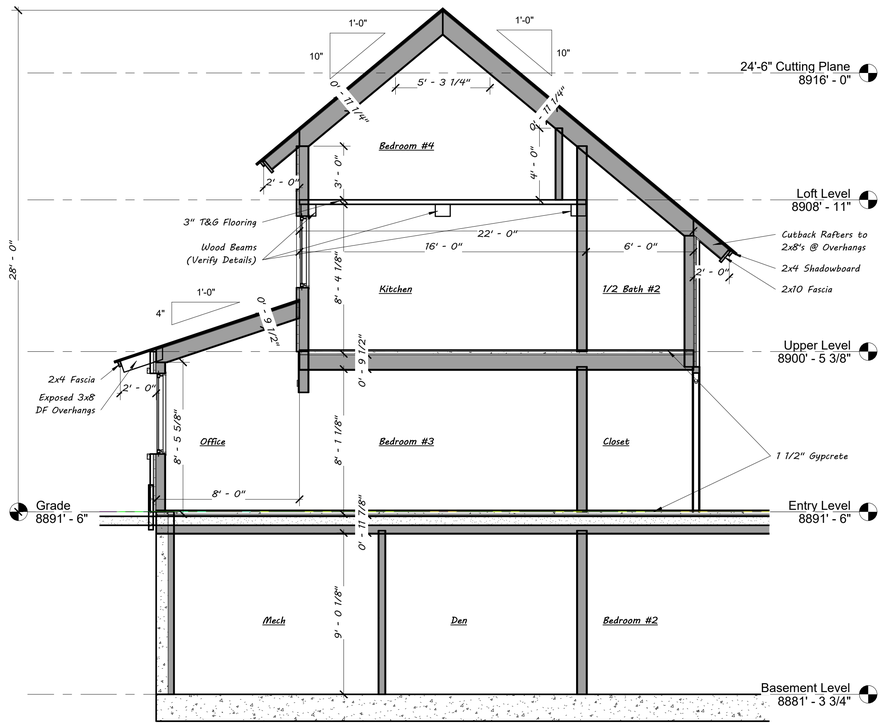


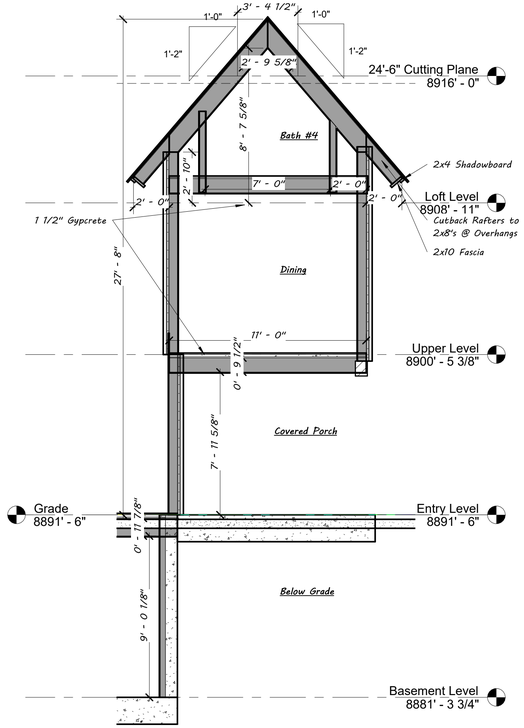
1 Section 1/10
1/4" = 1'-0"



2 Section 2/10
1/4" = 1'-0"



3 Section 3/10
1/4" = 1'-0"



4 Section 4/10
1/4" = 1'-0"

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10

Sections

12-12-2024
SCALE: 1/4" = 1'-0"
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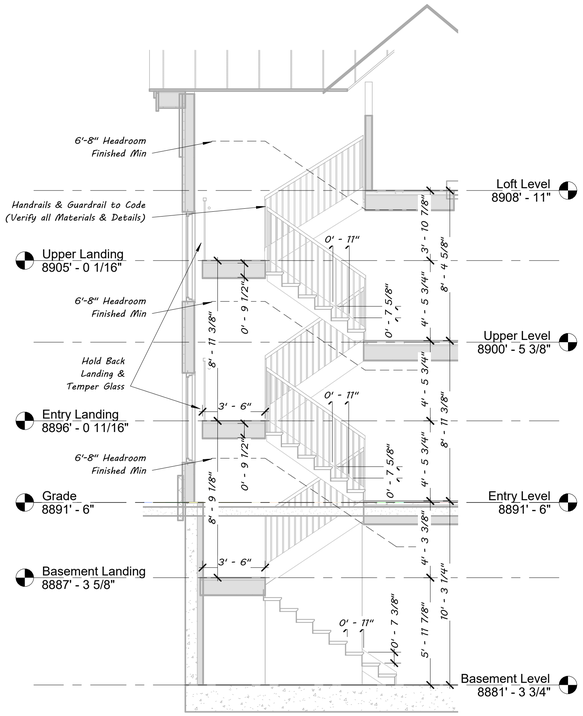
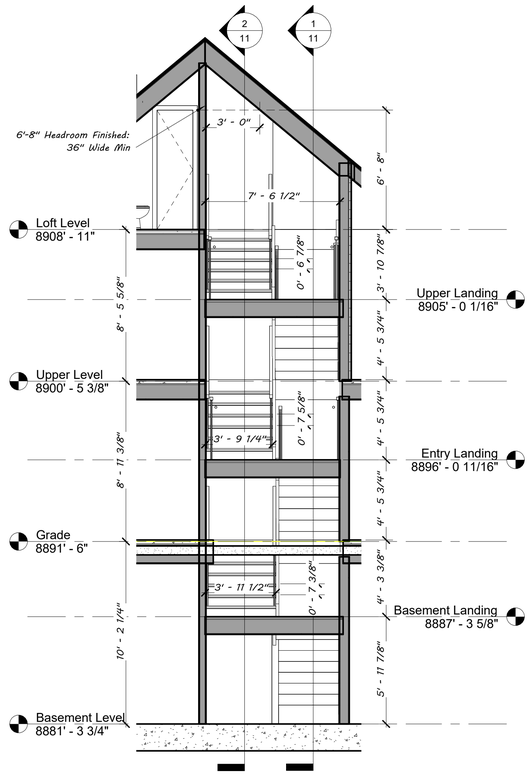
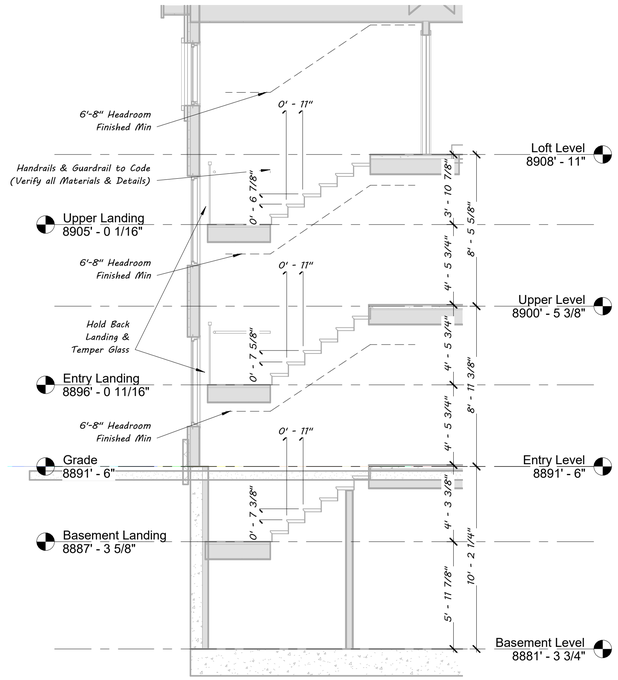


1 Section 1/11
1/4" = 1'-0"



3 Section 2/11
1/4" = 1'-0"



2 Section 3/11
1/4" = 1'-0"

How to Install a Vertical Ventilation Pipe – Crawlspace Construction

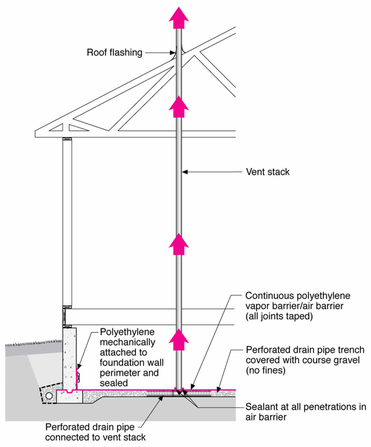
1 Select the location for the ventilation pipe (min. - inch diameter). It should be installed in a vertical run through a warm part of the house and exhausted through the roof. The pipe discharge should be protected from snow drifts and installed at least 1 foot above the roof (refer to local snow fall data for the height of snow drifts against buildings) and 10 feet away from any openings in the building to keep avoid the soil gas from re-entering the building.

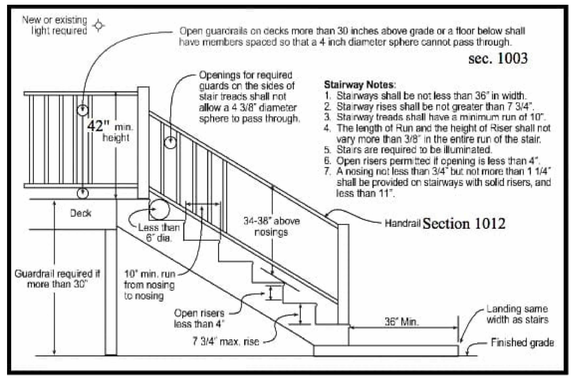
2 Lay at least 5 feet of min. 3-inch diameter horizontal perforated pipe on the soil at the location where you will run the vertical ventilation pipe and connect it to either side of a vertical "T". See Figure Below.

3 Install a continuous layer of polyethylene vapor barrier with joints taped over the soil. Run the poly-ethylene sheet up the wall and mechanically attach and seal the edges to the wall. Seal the vertical "T" to the polyethylene to reduce the soil gas entry.

4 Install the vertical pipe by connecting it to the vertical "T." Avoid 90-degree angles in the vertical portion of the pipe; use sweeps if turns are needed. Label the pipe on each floor so it is clear the pipe is not part of the sewer system. If the ventilation pipe extends through an unconditioned attic, insulate the stack to control condensation in the pipe.

5 Run the pipe through the roof and flash it properly. Provide a screened rain cap at the termination to prevent rain entry and nesting animals.





11

Stair Sections

12-12-2024
SCALE: 1/4" = 1'-0"
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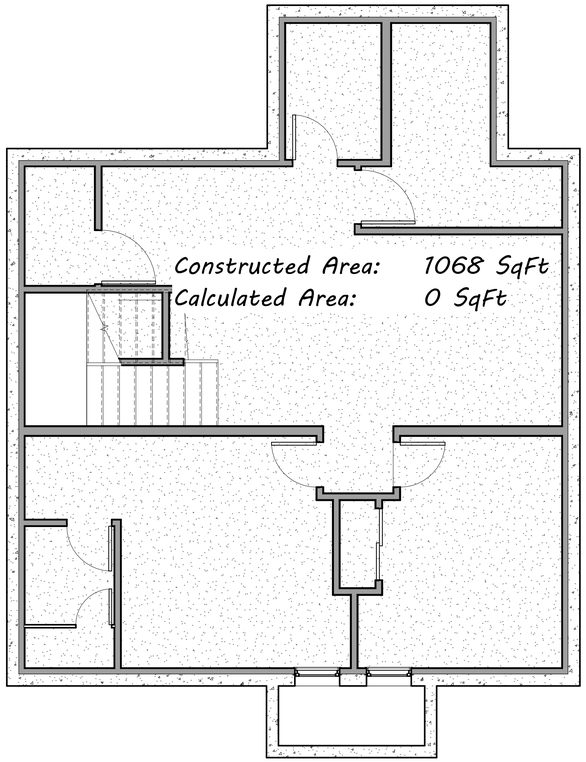
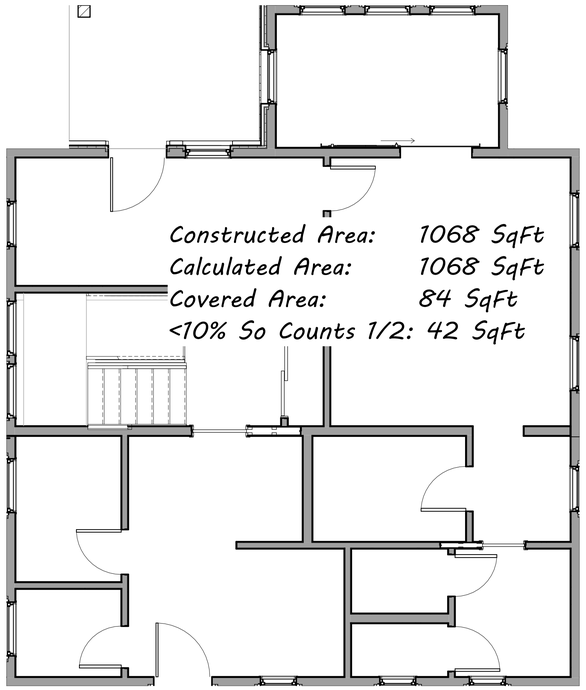
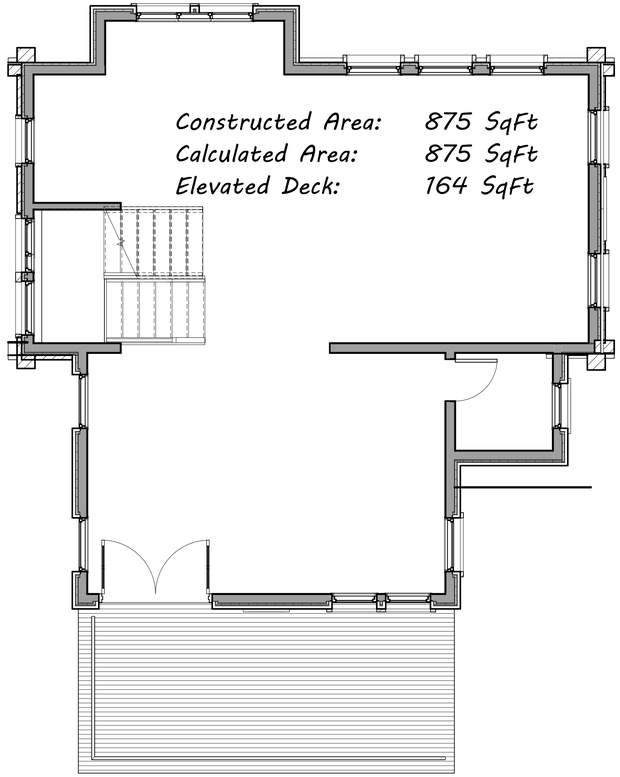


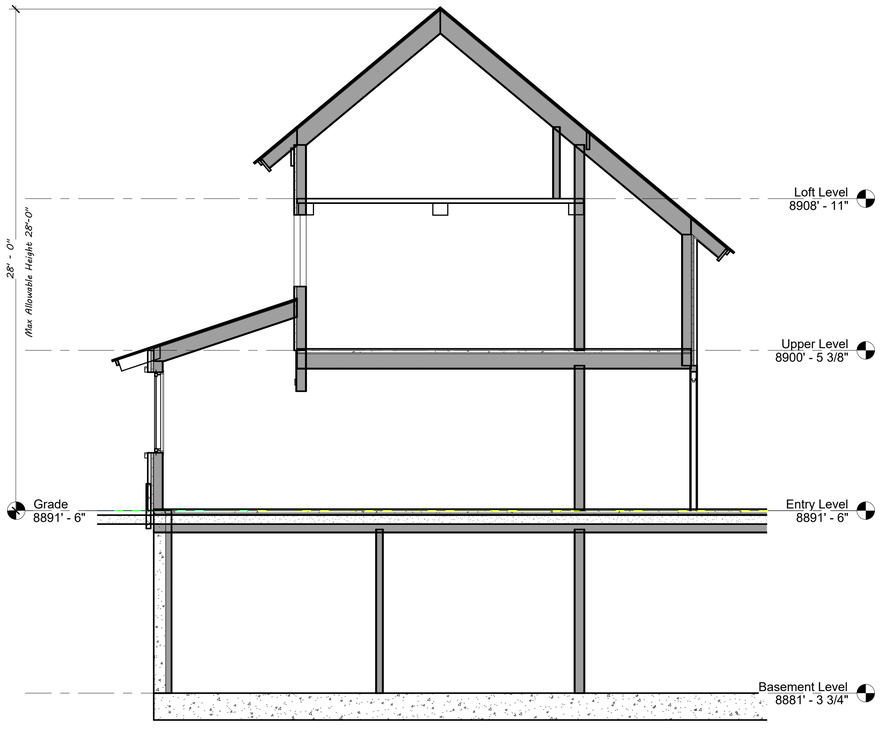
1 Basement Level Area Plan
1/4" = 1'-0"



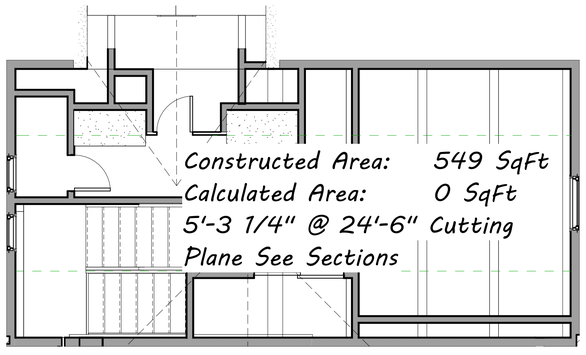
2 Entry Level Area Plan
1/4" = 1'-0"



4 Upper Level Area Plan
1/4" = 1'-0"



5 Height Calculation
1/4" = 1'-0"



3 Loft Level Area Plan
1/4" = 1'-0"

Area Calculations:

-House Area:

Basement Level Living:	0 SqFt
Entry Level Living:	1068 SqFt
Upper Level Living:	875 SqFt
Loft Level Living:	0 SqFt
Covered Area:	84 < 10% Counts 1/2 = 42 SqFt
Upper Deck: 200 Max Allowable	164 SqFt
Total Residence:	1943 SqFt
Maximum Allowable:	2000 SqFt

12

Height & Area Calculations

12-12-2024
SCALE: 1/4" = 1'-0"
DRAWN BY: Kyle Ryan
PROJECT ADDRESS:
422 Sopris Ave.
Crested Butte, CO
81224

Breuer Residence

SET ISSUED	DATE
BOZAR Review #1	11-22-2024
BOZAR Review #2	12-09-2024

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How to Install a Vertical Ventilation Pipe – Slab-on-Grade Construction

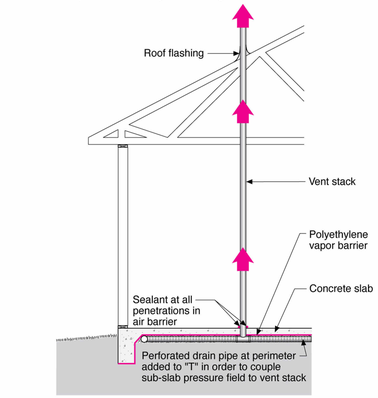
1 Select the location for the ventilation pipe (min. 3 inches in diameter). It should be installed in a vertical run through a warm part of the house and exhausted through the roof. The pipe discharge should be protected from snow drifts and installed at least 1 foot above the roof (refer to local snow fall data for height of snow drifts against buildings) and 10 feet away from any openings in the building to keep the soil gas from re-entering the building.

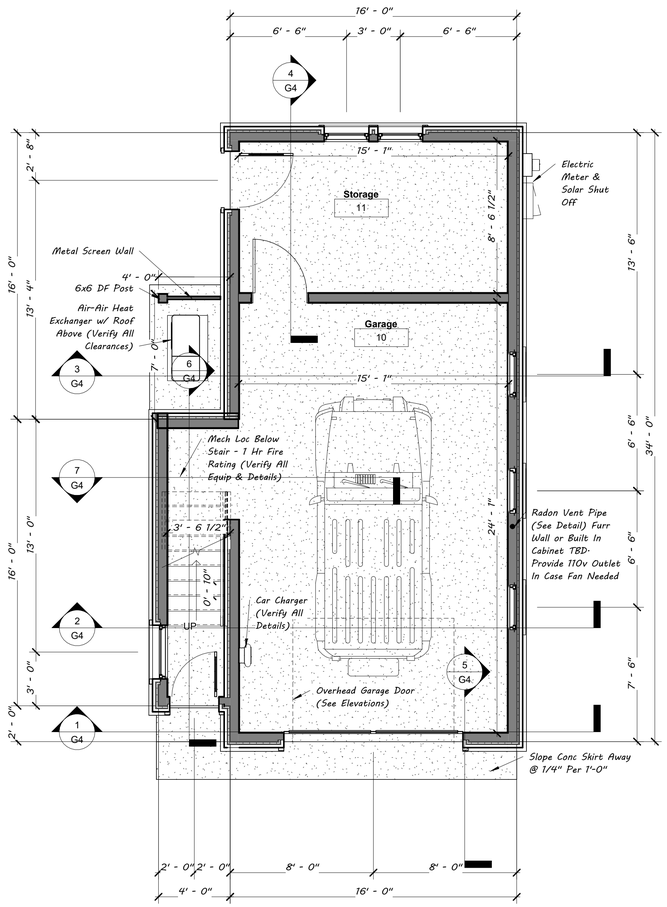
2 Lay a minimum 3-inch-diameter perforated pipe in a gravel trench or a collection mat on top of the gravel around the foundation perimeter. Install the pipe in a loop to allow for the soil gas to enter the pipe from two sides and connect it to either side of a vertical "T". Communication to all sub-slab areas is required and multiple connection points or interconnections may be required. See Figure Below.

3 Place the polyethylene vapor barrier and concrete slab around the vertical "T"; label and cover the open top of the vertical "T" before placing the concrete. Seal the perimeter of the "T" to the concrete to reduce the soil gas entry.

4 Install the vertical pipe by connecting it to the vertical "T." Avoid 90-degree angles in the vertical portion of the pipe; use sweeps if turns are needed. Label the pipe on each floor so it is clear the pipe is not part of the sewer system. If the ventilation pipe extends through an unconditioned attic, insulate the stack to control condensation in the pipe.

5 Run the pipe through the roof and flash it properly. Provide a screened rain cap at the termination to prevent rain entry and nesting animals.

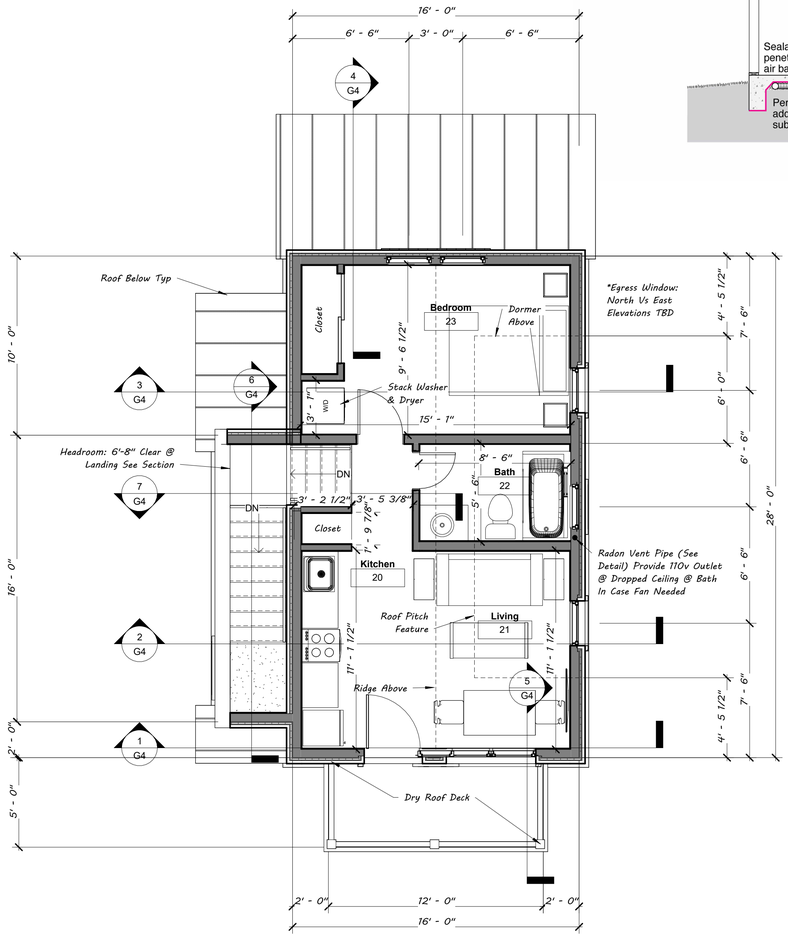




1 Garage Entry
1/4" = 1'-0"

<u>Square Footage Breakdown:</u>

-Lower Level:	608 SqFt
-Covered Entry: 8 SqFt <10%:	4 SqFt
-Upper Level: (Calculated @ 14'-0" FAR Cut Plane-See Sections)	487 SqFt
Calculated:	1099 SqFt
Parking Alowance:	-100 SqFt
Total:	999 SqFt
Maximum Allowable:	1000 SqFt



2 Garage Upper
1/4" = 1'-0"

G1

Garage Plans

12-10-2024

SCALE: 1/4" = 1'-0"

DRAWN BY: Kyle Ryan

PROJECT ADDRESS:
422 Sopris
Crested Butte, CO
81224

Residence
Breuer

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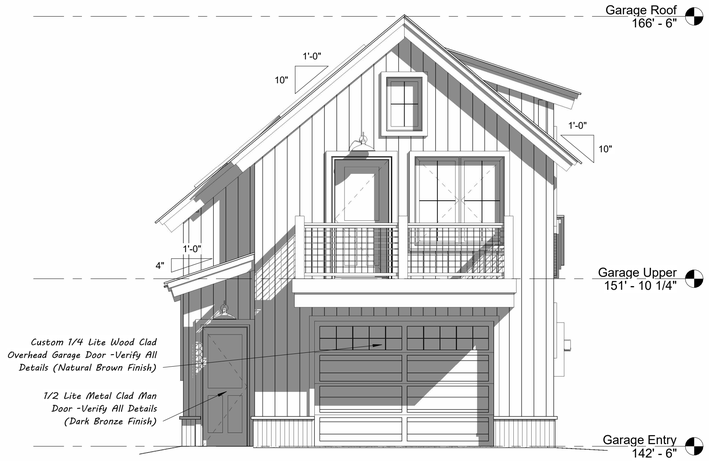
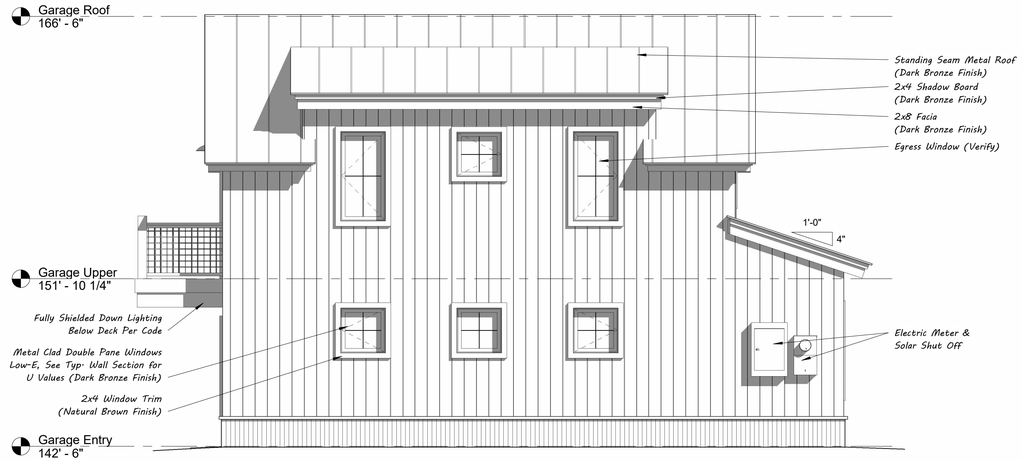
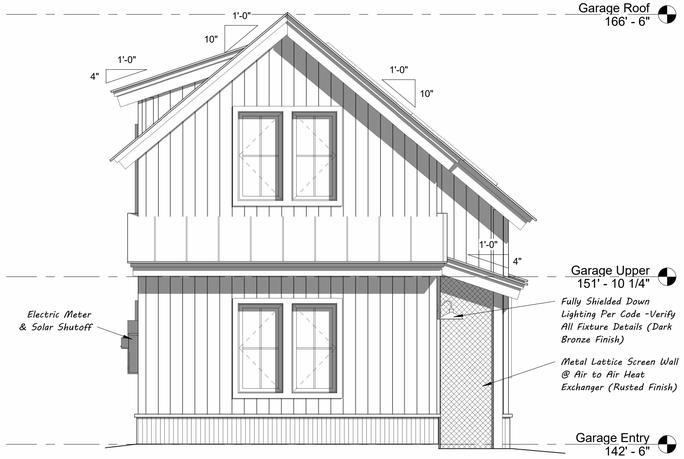


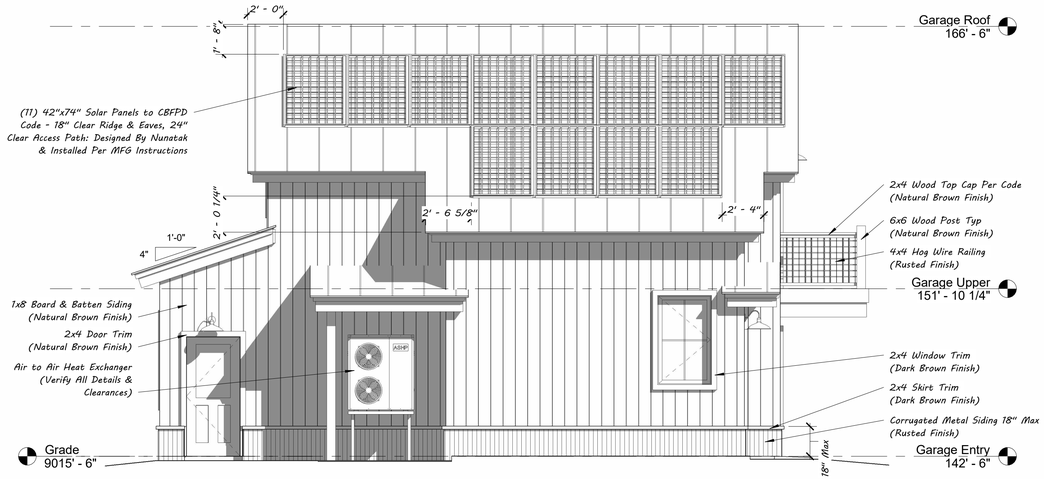
1 South
1/4" = 1'-0"



2 East
1/4" = 1'-0"



4 North
1/4" = 1'-0"



3 West
1/4" = 1'-0"

G2

Garage Elevations

12-10-2024
SCALE: 1/4" = 1'-0"
DRAWN BY: Kyle Ryan

PROJECT ADDRESS:
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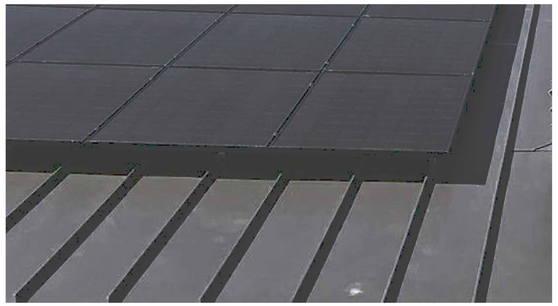
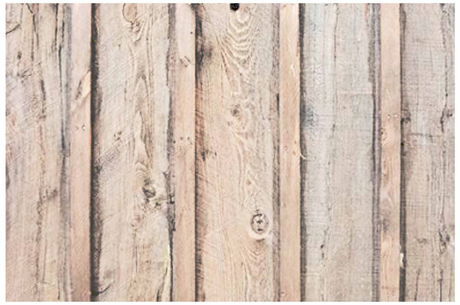


Standing Seam Roof w/ Solar Panels: Dark Bronze Finish

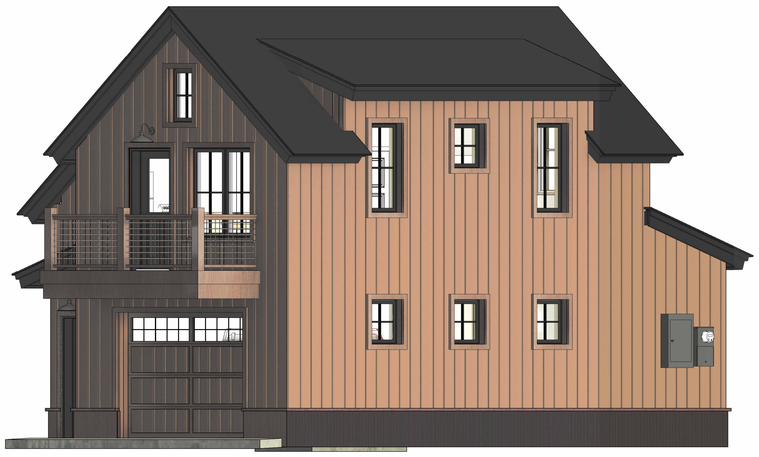


Board & Batten Siding: Natural Brown Finish

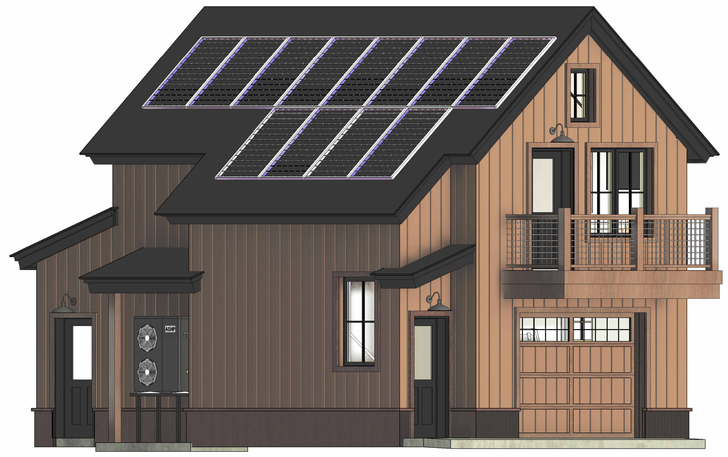
Corrugated Metal Siding: Rusted Finish

Wood Trim & Garage Door: Natural Brown Finish

Fascia & Shadow Board: Dark Bronze Finish



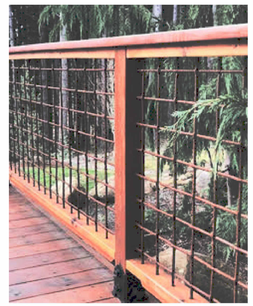
1 South East Perspective



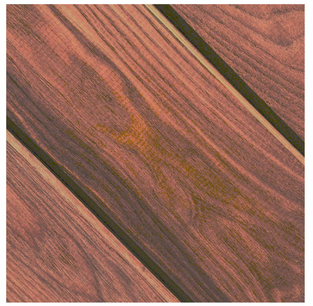
2 South West Perspective

3 North West Perspective

4 North East Perspective



Hog Wire Railing: Rusted Finish



Wood Trim & Cap: Dark Brown Finish

Metal Clad Doors: Dark Bronze Finish

Metal Clad Windows: Dark Bronze Finish

G3

Garage Perspective Elevations

12-10-2024

SCALE:

DRAWN BY: Kyle Ryan

PROJECT ADDRESS:
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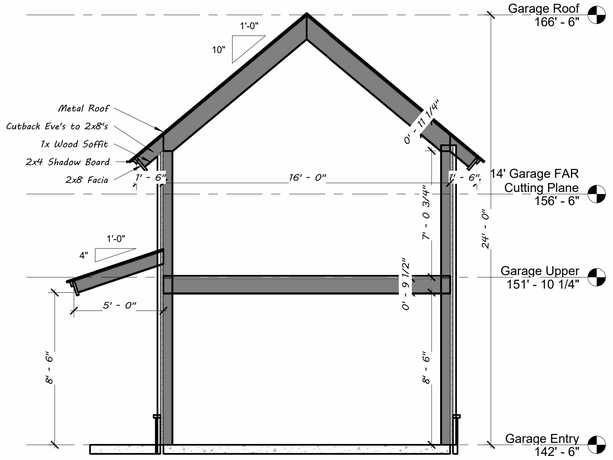
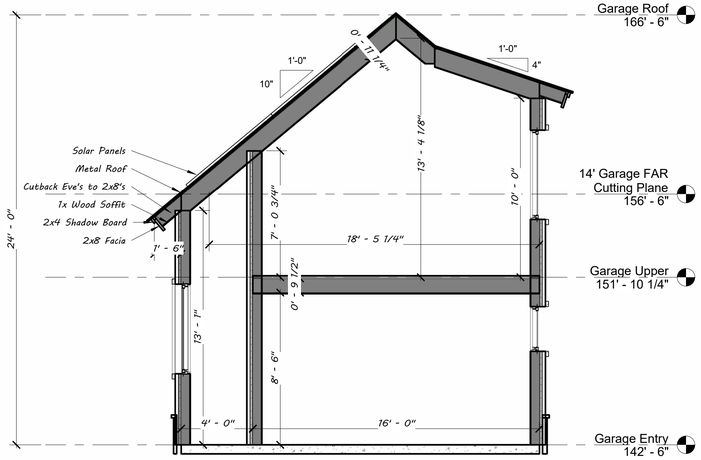
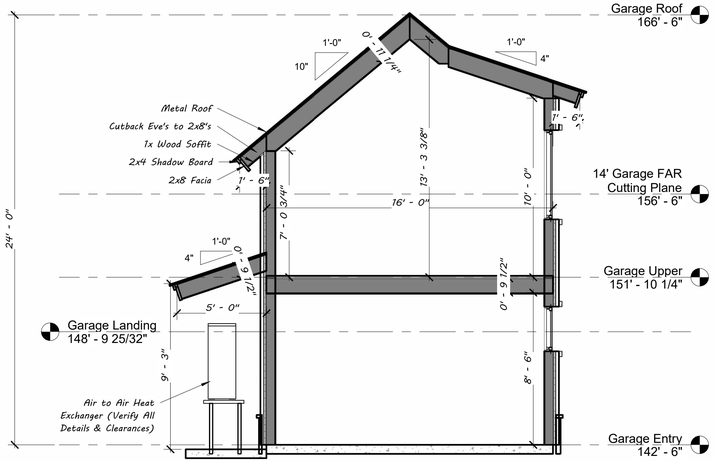


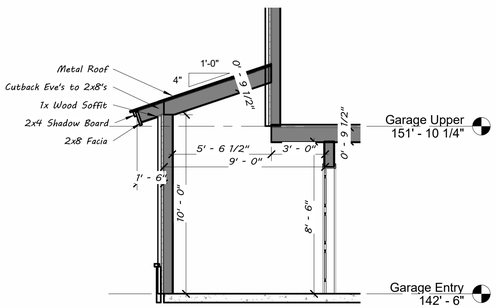
1 Section 1
1/4" = 1'-0"



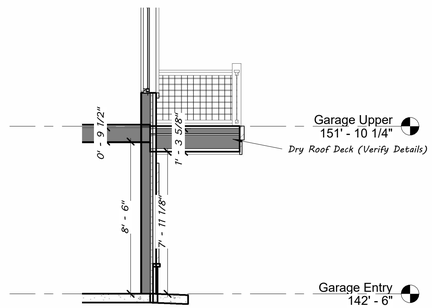
2 Section 2
1/4" = 1'-0"



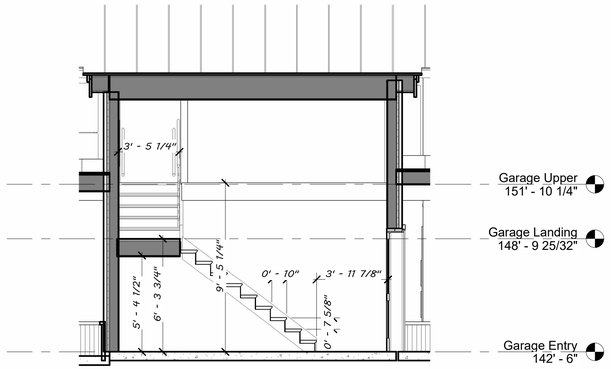
3 Section 3
1/4" = 1'-0"



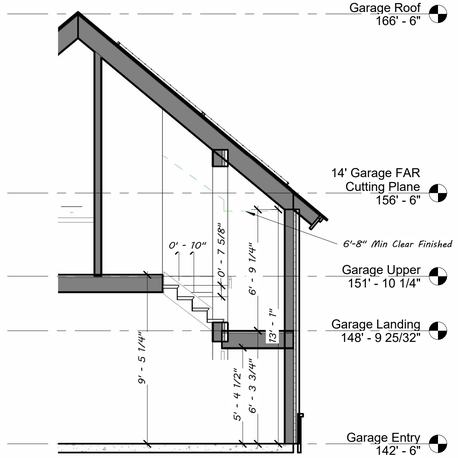
4 Section 4
1/4" = 1'-0"



5 Section 5
1/4" = 1'-0"



6 Stair Section 1
1/4" = 1'-0"



7 Stair Section 2
1/4" = 1'-0"

G4

Garage Sections

12-10-2024
SCALE: 1/4" = 1'-0"
DRAWN BY: Kyle Ryan
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